



AGENDA
Regular Clearwater City Council Meeting
Monday, January 13, 2020
7:00 pm

Call to Order
Pledge of Allegiance
Roll Call

1. Approval of Agenda (Additions/Deletions considered at this time)

Public Comment Period - Please refer to the "Public Comment Process" Brochure located by the sign-in sheet.

2. Consent Agenda

- a. Claims/Accounts Payable
- b. Approval of 12-09-20 City Council Workshop Minutes
- c. Approval of 12-09-20 City Council Meeting Minutes
- d. Approval of 12-16-19 Special City Council Workshop Minutes
- e. Approval of 12-16-19 Special City Council Meeting Minutes
- f. Accepting Res. 2020-01 Donation of Monies to the Clearwater Fire Department for Extrication Tools

3. Wright County Sheriff Deputy Report

4. Old Business

- a. AEM Contract Cancellation
- b. Discussion on policy pertaining to replacement of trees and shrubs in right of way
- c. CR 75 Trunk Storm Sewer Project
 - i. Hydrogeologic Assessment Study Proposal
 - ii. Scope of Work – Feasibility Report
- d. Approve Resolution 2020-02 – Approving the Purchase of a Fire Engine
- e. Update on Water and Sewer Rates

5. New Business

- a. Planning and Zoning Application for 52-unit Apartment Building (PID 104019000010 & 104020000020)
 - i. Approving Resolution 2020-06 of Planned Unit Development Amendment and Site Plan for a 52-Unit Apartment Building
 - ii. Approving Resolution 2020-05 of a Final Plat for One New Lot at (PID 104019000010 and 104020000020)
 - iii. Resolution 2020-04 of a Preliminary Plat to Create One New Lot from Two Existing Lots (PID 104019000010 and 104020000020)
 - iv. Approving Resolution of Findings of Fact for Rezoning for PID 104019000010 and 104020000020
- b. Approving Resolution 2020-07 Setting the 2020 Appointments
- c. Approve Resolution 2020-08 Budgeted 3% Cola Increase
- d. Approve Resolution 2020-09 Pre-Authorization of Claims Payments

6. Reports

- a. Mayor and Council
- b. Boards
- c. Staff

7. Other

- a. Regular City Council Meeting Monday, January 23rd, 2019 7:00 p.m.
- b. Scheduling with Townships for Fire Contract Meeting
- c. Discussion on Council Attending New/Experienced Official Training and 2020 Legislative Conference

8. Adjourn

AGENDA
Regular Clearwater City Council Meeting
Monday, November 18, 2019
7:00 pm

Staff Memo

To: Honorable Mayor and City Council
From: Elizabeth Lindrud, Interim City Administrator
Date: January 13th, 2020
RE: Review/Comment on 01-13-2020 City Council Meeting

1. Approval of Agenda (Additions/Deletions considered at this time)

Public Comment Period - *Please refer to the "Public Comment Process" Brochure located by the sign-in sheet.*

2. Consent Agenda

- g. Claims/Accounts Payable
- h. Approval of 12-09-20 City Council Workshop Minutes
- i. Approval of 12-09-20 City Council Meeting Minutes
- j. Approval of 12-16-19 Special City Council Workshop Minutes
- k. Approval of 12-16-19 Special City Council Meeting Minutes
- l. Accepting Res. 2020-01 Donation of Monies to the Clearwater Fire Department for Extrication Tools

3. Wright County Sheriff Deputy Report

4. Old Business

- a. AEM Contract Cancellation – *Council direction to provide 60 day written notice to terminate contract with AEM Financial Solutions.*
- b. Discussion on policy pertaining to replacement of trees and shrubs in right of way – *Update from City Engineer relating to the removal of shrubs from 40 Porter Circle during the SE Area Street Project.*
- c. CR 75 Trunk Storm Sewer Project
 - i. Hydrogeologic Assessment Study Proposal
 - ii. Scope of Work – Feasibility Report
- d. Approve Resolution 2020-02 – Approving the Purchase of a Fire Engine – *Tabled on December 16th, 2019.*
- e. Discussion on Water and Sewer Rates – *The Finance Director has an estimated Utility Rate Forecast to show the impact of the I94 Watermain loop on water rates as well as a forecast for the Sewer Rates.*

5. New Business

- a. Planning and Zoning Application for 52-unit Apartment Building (PID 104019000010 & 104020000020)
 - i. Approving Resolution 2020-06 of Planned Unit Development Amendment and Site Plan for a 52-Unit Apartment Building
 - ii. Approving Resolution 2020-05 of a Final Plat for One New Lot at (PID 104019000010 and 104020000020)
 - iii. Resolution 2020-04 of a Preliminary Plat to Create One New Lot from Two Existing Lots (PID 104019000010 and 104020000020)
 - iv. Approving Resolution 2020-03 of Findings of Fact for Rezoning for PID 104019000010 and 104020000020
- b. Approving Resolution 2020-07 Setting the 2020 Appointments
- c. Approve Resolution 2020-08 Budgeted 3% Cola Increase
- d. Approve Resolution 2020-09 Pre-Authorization of Claims Payments – *Annual resolution authorizing staff to send out specific claims payments before they are approved by Council. Typically these are time sensitive payments.*
- e. Discussion on Council Attending New/Experienced Official Training and 2020 Legislative Conference

6. Reports

- d. Mayor and Council
- e. Boards
- f. Staff

7. Other

- a. Regular City Council Meeting Monday, January 23rd, 2019 7:00 p.m.
- b. Scheduling with Townships for Fire Contract Meeting
- c. Discussion on Council Attending New/Experienced Official Training and 2020 Legislative Conference

8. Adjourn

CITY OF CLEARWATER

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*Check Summary Register©

January 2020

Name	Check Date	Check Amt	
10100 LAKE CENTRAL BANK			
Paid Chk# 022241	BEUNING, LLC	1/13/2020	\$2,198.77 NOV 2019 CAM TAX
Paid Chk# 022242	BOLTON & MENK, INC.	1/13/2020	\$4,929.50 CR75 TRUNK STORM SEWER
Paid Chk# 022243	CITIZEN TRIBUNE	1/13/2020	\$287.17 EXTRACT MINUTES
Paid Chk# 022244	CITY OF CLEARWATER	1/13/2020	\$83.21 LIBRARY UTILITIES
Paid Chk# 022245	CLEAR VALLEY BUSINESS CONN	1/13/2020	\$50.00 CVBC MEMBERSHIP DUES
Paid Chk# 022246	CLEARWATER PARTS CITY AUT	1/13/2020	\$78.99 CARB CLEANER
Paid Chk# 022247	CLEARWATER TRUCK CENTER	1/13/2020	\$108.00 33MM THREAD NUT COVERS
Paid Chk# 022248	COORDINATED BUSINESS SYST	1/13/2020	\$116.84 QTR 4 COPIES
Paid Chk# 022249	DYNA SYSTEMS, INC.	1/13/2020	\$227.29 CRYOBIT W FLATS/CLAMPS/HOSE
Paid Chk# 022250	FIDELITY SECURITY LIFE	1/13/2020	\$45.57 VISION PREMIUM JAN
Paid Chk# 022251	GOPHER STATE ONE-CALL	1/13/2020	\$14.85 FAX TICKETS
Paid Chk# 022252	JANET SALZER	1/13/2020	\$100.00 REFUND LIONS RENTAL DEPOSIT
Paid Chk# 022253	KIM SMITH	1/13/2020	\$100.00 REUND LIONS RENTAL DEPOSIT
Paid Chk# 022254	LEAGUE OF MINNESOTA CITIES	1/13/2020	\$75.75 ACROBAT PROFESSIONAL
Paid Chk# 022255	BECKY MARKLOWITZ	1/13/2020	\$520.00 CITY HALL DEC
Paid Chk# 022256	MATT MOONEY	1/13/2020	\$100.00 REFUND LIONS RENTAL DEPOSIT
Paid Chk# 022257	MENARDS - ST.CLOUD	1/13/2020	\$160.93 HAMMER DRILL/ANGLE GRINDER/BAT
Paid Chk# 022258	METRO WEST INSPECTION SVC	1/13/2020	\$9,365.92 FINALED PERMITS NOVEMBER 2019
Paid Chk# 022259	MN NCPERS LIFE INSURANCE	1/13/2020	\$32.00 GROUP LIFE INS PREM
Paid Chk# 022260	NORTHERN TOOL	1/13/2020	\$389.00 20V MAX XR HD & IMPAC
Paid Chk# 022261	PIONEER PRODUCTS INC.	1/13/2020	\$785.64 WASH AND WAX
Paid Chk# 022262	PREMIUM WATERS, INC.	1/13/2020	\$4.70
Paid Chk# 022263	QUILL CORPORATION	1/13/2020	\$122.12 33/13 GAL TRASH BAGS
Paid Chk# 022264	RUPP, ANDERSON,SQUIRES	1/13/2020	\$937.95 VACATION OF LINN STREET
Paid Chk# 022265	SANITATION SERVICES	1/13/2020	\$494.50 HANDICAP RESTROOM PARK
Paid Chk# 022266	WRIGHT COUNTY AUDITOR/TRE	1/13/2020	\$20,063.35 PATROL FINES SEPT/NOV
Paid Chk# 022267	ZIEGLER, INC	1/13/2020	\$578.42 4T-3007 & 4T-3034 CUTTING EDGE
Total Checks			\$41,970.47

CITY OF CLEARWATER

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*Check Summary Register©

December 2019 to January 2020

Name	Check Date	Check Amt	
10100 LAKE CENTRAL BANK			
Paid Chk# 011305E UNITED STATES TREASURY	12/10/2019	\$2,984.00	941 PP25
Paid Chk# 011306E MINNESOTA REVENUE	12/10/2019	\$536.17	MN REV PP25
Paid Chk# 011307E PUBLIC EMPLOYEES RETIREME	12/9/2019	\$1,686.42	PERA PP25.19
Paid Chk# 011308E MINNESOTA REVENUE	12/10/2019	\$869.00	SALES TAX NOVEMBER 2019
Paid Chk# 011309E ANNANDALE STATE BANK	12/16/2019	\$509.62	PSN SERVICE FEES NOV
Paid Chk# 011310E AFLAC	12/16/2019	\$33.70	EMPLOYEE PAID INS NOV
Paid Chk# 011311E WRIGHT HENNEPIN COOP ELEC	12/16/2019	\$438.97	UTILITIES NOV
Paid Chk# 011312E DELTA DENTAL	12/16/2019	\$471.00	DENTAL PREMIUM DEC 2019
Paid Chk# 011313E LINCOLN NATIONAL LIFE INSUR	12/16/2019	\$346.69	LIFE INS PREM DECEM
Paid Chk# 011314E XCEL ENERGY	12/4/2019	\$1,327.72	MAIN ST LIGHTS OVERHEAD
Paid Chk# 011315E AEM FINANCIAL SOLUTIONS LLC	12/17/2019	\$3,312.00	DEC PROFESSIONAL SVCS
Paid Chk# 011316E NOW IT CONNECTS, INC	12/17/2019	\$1,341.19	MANAGED IT SERVICES
Paid Chk# 011317E HEALTH PARTNERS	12/9/2019	\$7,272.45	PREMIUM DEC HEALTH INS
Paid Chk# 011318E ADVANCED DISPOSAL	12/17/2019	\$7,132.42	REFUSE/RECYCLE NOV
Paid Chk# 011319E CINTAS	12/17/2019	\$175.20	UNIFORMS/RUGS NOV
Paid Chk# 011320E UNITED STATES TREASURY	12/18/2019	\$153.00	941 P&Z BOARD
Paid Chk# 011321E UNITED STATES TREASURY	12/18/2019	\$1,035.96	941 QTR 4 COUNCIL
Paid Chk# 011322E MINNESOTA REVENUE	12/18/2019	\$53.50	STATE WITH HOLDING CC QTR 4
Paid Chk# 011323E US BANK CORP PAYMENT SYST	12/19/2019	\$765.83	DEC CC CHARGES
Paid Chk# 011324E UNITED STATES TREASURY	12/23/2019	\$3,037.35	941 PP 26.19
Paid Chk# 011325E MINNESOTA REVENUE	12/23/2019	\$549.79	STATE WITH HOLDING PP26.19
Paid Chk# 011326E PUBLIC EMPLOYEES RETIREME	12/23/2019	\$1,704.98	PERA PP26.19
Paid Chk# 011327E UNITED STATES TREASURY	12/23/2019	\$1,320.24	941 FD OFFICER PAY
Paid Chk# 011328E MINNESOTA REVENUE	12/23/2019	\$4.01	STATE WITH HOLDING FD OFFICER
Paid Chk# 011329E XCEL ENERGY	12/30/2019	\$1,311.24	NOV STREET LIGHTS
Paid Chk# 011330E NEOPOST GREAT PLAINS	12/2/2019	\$50.00	ANNUAL FEE 2019
Paid Chk# 011331E ANNANDALE STATE BANK	12/30/2019	\$719.90	DECEMBER DEBIT CC
Paid Chk# 011332E MINNESOTA REVENUE	1/2/2020	\$988.00	DEC SALES AND USE TAX
Paid Chk# 011333E UNITED STATES TREASURY	1/7/2020	\$2,909.69	941 PP01.2020
Paid Chk# 011334E UNITED STATES TREASURY	1/6/2020	\$1,731.44	941 FD QTR 4 2019
Paid Chk# 011335E MINNESOTA REVENUE	1/6/2020	\$523.91	STATE WITHHOLDING PP01.2020
Paid Chk# 011336E MINNESOTA REVENUE	1/6/2020	\$57.19	TAX WITHHOLDING FD
Paid Chk# 011337E PUBLIC EMPLOYEES RETIREME	1/6/2020	\$1,648.34	PERA PP 01.2020
Paid Chk# 011338E LINCOLN NATIONAL LIFE INSUR	1/6/2020	\$346.69	LIFE INS PREM JAN 2020
Paid Chk# 011339E DELTA DENTAL	1/6/2020	\$264.50	DENTAL PREMIUM JAN
Paid Chk# 011340E HEALTH PARTNERS	1/6/2020	\$7,272.45	HEALTH INS PREM JAN
Paid Chk# 011341E XCEL ENERGY	1/6/2020	\$1,950.16	UTILITIES DEC
Paid Chk# 011342E MAILFINANCE	1/7/2020	\$1,000.00	POSTAGE
Paid Chk# 011343E CINTAS	1/7/2020	\$227.50	RUGS/UNIFORMS DEC
Paid Chk# 011344E ADVANCED DISPOSAL	1/13/2019	\$7,137.42	REFUSE/RECYCL DEC
Total Checks		\$65,199.64	

City of Clearwater, Minnesota

Unaudited Cash Balances by Fund

Cash Balance as of January 9th, 2020

Fund	Balance 12/31/2019	Balance 01/09/2020	YTD Change from 12/31/2018
100 General Fund	\$ 995,123.69	\$ 950,865.17	\$ (44,258.52)
200 Park Dedication Fee	227.71	227.71	-
230 Fire and Rescue	102,765.18	101,665.65	(1,099.53)
240 Parks and Recreation	2,901.97	2,022.40	(879.57)
250 Economic Dev. Authority	104,595.38	104,595.38	-
260 Small Cities Aid	32,549.65	32,549.65	-
270 Local Option Sales Tax	1,179,192.66	1,195,193.54	16,000.88
306 GO Imp Bond 2006-Refund 2012	1,262.29	1,262.29	-
309 GO Equip Certificates 2009	(36,466.92)	(36,466.92)	-
315 Bond Proceeds	153,972.04	153,972.04	-
415 Streets Curbs	0.25	0.25	-
416 SE Area Project	139,698.18	144,108.18	4,410.00
420 Fire Capital Fund	(52,675.75)	(52,675.75)	-
430 Public Works Reserve Fund	308,688.63	308,688.63	-
600 Water Fund	676,509.50	675,991.31	(518.19)
601 Sewer Fund	710,042.74	717,722.77	7,680.03
603 Refuse (Garbage) Fund	(4,064.68)	(9,429.53)	(5,364.85)
651 Storm Sewer	45,468.95	45,688.89	219.94
800 Library	(2,635.74)	(5,315.56)	(2,679.82)
Total	\$ 4,357,155.73	\$ 4,330,666.10	\$ (26,489.63)

City of Clearwater
City Council Workshop Meeting Minutes
December 9, 2019

OPEN WORKSHOP

Mayor Lawrence opened the workshop at 6:02 p.m. on December 9, 2019, for the purpose of Discussion on the Trunk Storm Water District.

ROLL CALL

Present: Mayor Lawrence. Council Members Kruchten, Scott, Crandall, and Petty.

Absent:

A quorum of the City Council was declared present.

Staff present: Finance Director Lindrud.

Others Present: Justin Kannes – Bolton & Menk.

CR 75 Trunk Storm Sewer Improvement Project

Member Petty recused himself from discussion. Mayor Lawrence stated the workshop was meant to address a storm sewer improvement plan and storm sewer district for the City to follow as well as an update on the Country Road 75 Trunk Storm Sewer Project Update.

Engineer Justin Kannes with Bolton & Menk gave an update to Council on the discussions with the City Attorney, Jay Squires and the Jessica Green with Northland Securities on what the Storm Sewer Improvement District entails, how it is utilized and what properties can be taxed and how the project costs can be spread out throughout the district. The district would follow existing tax laws, meaning that tax-exempt properties could not be taxed within the district. Engineer Kannes also spoke with Wright County Attorney and Wright County Auditor's office and there currently are not any storm sewer water districts in Wright County. Engineer Kannes also included the Bond Counsel Attorney in the discussion and inquired if the costs could be split against the storm sewer improvement district and with another revenue source, for example a G.O. Bond. The statute has language stating that the majority of the costs should come from the district. Briggs and Morgan stated their position is that if the project is meant to benefit the district it should then be setup to be fully funded by the district.

Engineer Kannes stated the best option to fund the project would be the 429 Assessment process. The 429 Assessment process would allow the City to assess the tax-exempt properties. There is always the opportunity for residents to challenge the benefit to the property per state statute. Discussion took place on how each property would be assessed. Engineer Kannes stated Bolton & Menk would come up with an equitable and fair process, it would not be street frontage, but most likely contributing water runoff. Another option would be a storm sewer fee, which is typically set around three to five dollars per month per residential properties with a higher amount for commercial properties. These fees are typically used to fund ongoing maintenance and would not generate the funds needed quickly enough for this project.

Engineer Kannes also explained the process for direct solicitation to the Legislator for the State Bonding Bill. He stated this would still be something for the City to consider. He also added that the use of development agreements could be used when a new property is being developed.

Engineer Kannes updated Council on the current status of the project, currently the exact costs are not defined, a design would need to be done to get the costs and ponding questions answered. Blaine Brothers and the MNDOT properties would have additional benefit that would need to be determined.

Council felt that the storm sewer district is not an option, since the largest contributors are also tax-exempt properties. Engineer Kannes also explained that the direct solicitation and fees could be combined with the 429 Assessment process for multiple revenues sources.

Discussion took place on whether the storm water ponds are in compliance with the MPCA regulations. The current ponds were built before the regulations were in place, however new ponds would need to be built in compliance with the regulations. Mayor Lawrence stated she would like to keep the drinking water clean.

Council discussed next steps. The State Bonding Bill comes up every other year and 2020 is the next year it is available. Step one would be to conduct a feasibility study and step two would be to have a further discussion on funding. The estimated cost of the feasibility study would be \$15,000 to \$20,000 dollars, the \$10,000 grant money can be used for the feasibility study.

ADJOURN

MOTION by Crandall, seconded Kruchten, to adjourn the council workshop at 6:55pm.

Motion carried unanimously.

Elizabeth Lindrud, Interim City Administrator

Andrea Lawrence, Mayor

Date Approved

**Clearwater City Council
Council Meeting Minutes
Clearwater City Council Chamber
December 9, 2019**

CALL TO ORDER

Mayor Lawrence called the meeting of December 9, 2019, to order at 7:00 p.m.

PLEDGE OF ALLEGIANCE

Everyone joined in the pledge of allegiance.

ROLL CALL

- Present: Mayor Lawrence. Members Kruchten, Crandall, Petty, and Scott.
- Absent:
- Staff Present: Finance Director Lindrud, Public Works Supervisor Schmidt, and Fire Chief Pridgeon.
- Public Present: Kannas– Bolton Menk, Andrea Worcestor – AEM Financial Solutions.
- Others Present: Ken Francis – Citizen Tribune.

A quorum was declared present.

APPROVAL OF AGENDA

Mayor Lawrence requested to remove item c. from the consent agenda, it was approved at the last meeting.

Mayor Lawrence also added the following to old business; Amending of the November 4, 2019 Special City Council Meeting Minutes as Old Business and Amending the motion to offer \$28.10 per hour with 80 hours of PTO up front, 6 hours Holiday and waive the 90 day wait period made at the November 4, 2019 Special City Council Meeting.

MOTION by Crandall, seconded by Kruchten, to approve the agenda as submitted.

Motion carried unanimously.

PUBLIC COMMENT

Cyrene Bastien – Cyrene Bastien stated she is retiring after 19 years from the Clearwater Library at the end of the year and would like to thank the City of Clearwater for their support. She stated that while Libraries have changed over the years they are still well used. Council thanked Bastien for all of her work and programs at the Library.

CONSENT AGENDA

Member Scott stated item b. had an error, he did not cast an opposing vote on the Motion to pay the meeting stipend to Mayor Lawrence and Member Kruchten for meetings related to the hiring of a new City Administrator. Council agreed with the change. Member Scott also requested to pull Claim # 022188 payable to Bolton and Menk for further discussion. Mayor Lawrence stated to move item 2a to old business.

MOTION by Petty, seconded by Crandall, to approve the following Consent Agenda items:

- a. ~~Claims/Accounts Payable~~**
- b. Approval of 11-18-19 City Council Meeting Minutes**
- c. ~~Approval of 11-4-19 City Council Meeting Minutes~~**
- d. Approval of 12-02-19 Special City Council Workshop Minutes**
- e. Approval of 12-04-19 Special City Council Meeting**

f. Approval of Resolution 2019-51 Supporting Regional Park or Trail Designation Application in Greater Minnesota.

MOTION carried unanimously.

PUBLIC INPUT – TRUTH IN TAXATION

a. Approve 2020 Budget and Levy, Resolution 2019-52

Andrea Worcester from AEM Financial Solutions gave a presentation on the 2020 Budget and Levy. The total City Tax Levy amount remained the same as the Preliminary Levy amount of \$1,162,504, which is an 8.48% increase from 2019. Overall the General Fund Levy decreased 19.87%, a large portion of that related to adding funds to the EDA for city signage and the possibility of bringing the City's EDA back into service in 2020. The other key changes were the reduction of the AEM contract to \$7,500 due to the termination of the contract in 2020. The addition of the Part-Time Finance Director wages of \$54,113.56 and the reallocation of the City Administrators wages as follows: 50% to the General Fund, 10% to the Fire Fund, and 20% to both the Water and Sewer Funds. Mayor Lawrence closed the hearing after requesting for commentary three times.

MOTION by Crandell, seconded by Kruchten, to approve Resolution 2019-52.

Motion carried unanimously.

WRIGHT COUNTY SHERIFF DEPUTY REPORT

Deputy gave a brief update on criminal activity in the City

OLD BUSINESS

a. Discussion on Fire Contract Meeting Goals

Council discussed the upcoming Fire Contract Meeting with Lynden and Clearwater Townships. Member Kruchten stated he would like Fire Chief Pridgeon to be available to give a tour of the Fire Hall with a list of the Fire Department equipment previous to the meeting. Member Petty also had Intirem City Administrator Lindrud pull up the minutes from the March 4, 2019 meeting and the September 9, 2019 to help clarify which contract was cancelled with the Townships. Council discussed and agreed that the contract for the year 2020 is still in place and that the contract that was cancelled was for the year 2021 and is in negotiation. Fire Chief Pridgeon stated that the Fire Department does still respond if there is not a contract in place, but the property owner is charged the costs for the call. Council directed Lindrud to reach out to the townships and invite them to come at 4:00 p.m. to the Fire Hall for a tour and to state that the 2020 Fire Contract is in place, but the 2021 contract was terminated and is in negotiation.

b. Discussion on policy pertaining to replacement of trees and shrubs in right of way

During the SE Area street project bushes were removed from the right of way at 40 Porter Circle. The homeowner sent a letter to Council requesting the City replace the shrubs. Discussion also occurred around whether the City wants to start a practice of replacing trees or shrubs in the right of way. Member Scott stated that one of the Bolton & Menk employees had told the homeowner they would be replaced, but then never were. Engineer Kannes stated he would check with the employee to see what was said to the homeowner.

MOTION by Petty, seconded by Lawrence, to table discussion of policy pertaining to replacement of trees and shrubs in the right of way until the next meeting.

Motion carried unanimously.

c. Discussion on Linn Street Road Vacation Expenses

Interim Administrator Lindrud stated that two of the homeowners had contacted her about the expenses related to the Linn Street Road Vacation after receiving their invoices. Lindrud stated she was instructed to invoice the legal and survey costs, but one homeowner stated they had only agreed to pay the survey costs. Lindrud was only able to find written confirmation for the survey costs. Council stated that it was discussed in the council meetings that the full costs would be split evenly among the three benefiting properties. Council further directed Lindrud to also invoice for the tax and filing fees. Council further directed Lindrud not to file the quit claim deeds until payment was received in full.

d. Claims/Accounts Payable

Member Scott pulled invoice 0240901 payable to Bolton & Menk for expenses related to the Eldorado Park concrete work. Interim Administrator Lindrud stated that the check had already been mailed, Justin Kannes stated Bolton & Menk would correct the charges if necessary.

MOTION by Petty, seconded by Scott, to approve the Claims/Accounts Payable excluding invoice 0240901 for Bolton & Menk.

Motion carried unanimously.

MOTION by Petty, seconded by Lawrence, to approve 0240901 invoice for Bolton & Menk with the agreement to discuss with Engineer Kannes at a future date.

Motion carried unanimously.

e. Amending of the November 4, 2019 Special City Council Meeting Minutes

Interim Administrator Lindrud stated the minutes from the November 4, 2019 Special Meeting are incorrect. The verbiage 80 hours was not used in reference to PTO hours, but the verbiage two weeks was used per the audio recording.

MOTION by Crandall, seconded by Scott, to amend the November 4, 2019 Special Meeting Minutes to read 2 weeks instead of 80 hours.

Motion carried 4-0 (Petty -- abstained)

f. Amending the motion to offer \$28.10 per hour with 80 hours of PTO up front, 6 hours Holiday and waive the 90 day wait period made at the November 4, 2019 Special City Council Meeting.

Interim Administrator Lindrud stated the original offer was stated in weeks, not hours and will need to be stated in hours as the position does not have set weekly hours. She also stated that per the Employee Handbook an Permanent Part Time Employee can only have a maximum balance of 32 hours and for audit purposes the balance has to be 32 hours or below at year end. Member Petty stated Council should also consider that the position was meant to be a part time position and has turned into a full-time position for the next couple of months.

MOTION by Lawrence, seconded by Crandall, to amend the November 4, 2019 PTO offer to 32 hours of PTO effective November 5, 2019 and 30 additional hours of PTO effective after 90 days.

Motion carried 4-1 (Scott -- opposed)

NEW BUSINESS

a. Approve 3rd Quarter Financial Report

The Mayor asked if there were any questions on the 3rd Quarter Financial Report. There were none.

MOTION by Crandall, seconded by Lawrence, to approve the 3rd Quarter Financial Report.

Motion carried unanimously.

b. Accepting City Administrators Resignation

Interim Administrator Lindrud explained that this was a housekeeping matter to have it on record that Administrator Kress left in good standing and his last day was November 21, 2019.

MOTION by Lawrence seconded by Crandall, to accept City Administrator Kress's resignation. Motion carried unanimously.

c. Approval of Resolution 2019-53 Appointing and Interim City Administrator

Interim Administrator Lindrud explained this was another housekeeping matter to have Council officially appoint an Interim City Administrator.

MOTION by Scott seconded by Crandall, to approve Resolution 2019-53. Motion carried unanimously.

d. City Administrator Search Update

Council discussed the counteroffer received by Annita Smythe. Mayor Lawrence stated if Council agrees to the counter offer as presented, Smythe will accept the position with a start date of January 13th. The original offer was less than her current salary, the information the City had was incorrect about her current salary. Smythe requested to start at Step 8 (\$88,673.92) with an increase to Step 9 (\$91,334.13) after six months. She also requested \$5,000 annually allocated for professional membership dues, licenses and other training expenses in addition to costs for maintaining her state bar licensing fees and ongoing education. An equipment allowance was added requiring the City to provide replacement of laptop, tablet or other similar device to be used when working outside of the office. All equipment would remain the property of the City. Changes made to the severance section included adding three months (total of six) base salary if terminated without cause and reduced the amount of group medical insurance from eighteen months to six months. Smythe also removed the cell phone and car stipend. Discussion took place around the salary change. Member Petty is concerned with the growing labor costs in the City. Mayor Lawrence stated that starting at Step 8 and then moving to Step 9 in six months is a compromise on Smythe's side of the negotiation. Discussion also took place around the changes to severance.

MOTION by Lawrence, seconded by Kruchten, to accept the Annita Smythe's counteroffer for the City Administrator/Sewer Authority Director as presented tonight with no changes by Council.

Member Petty inquired when the 3% COLA takes effect, Interim Administrator Lindrud stated it takes effect January 1st, but Smythe will be starting January 13th.

Motion carried unanimously.

e. Discussion on Fire Engine Purchase and Equipment Certificate Process

Fire Chief Pridgeon stated the Fire Department spent two years researching the replacement for Fire Engine 12. The quote given by Pierce is for \$771,714 with some discounts for prepayment. There is no minimum down payment required at the time the order is placed. Interim Administrator Lindrud stated she had worked with Northland Securities on two options. The first being to pay the amount in full 20 days after the order is placed to get both discounts. However, due to capitalized interest costs, that option costs more than the second option. Also, if the City pays in full there is no recourse if there are issues with the engine at the time of delivery. The second option would be to pay the \$361,904 due 90 days prior to completion for the chassis pre-payment discount and then the rest upon delivery. This would allow the City to wait to issue the bond closer to August and save on interest expenses. Lindrud stated that the bond exceeds the percentage of the estimated market value to be issued without waiting 10 days after publication of the bond resolution for the public to be allowed to petition for a reverse referendum. Fire Chief Pridgeon stated that the price will increase after January 31, 2020. Lindrud stated Council will need to authorize for the bond resolution to be created to be voted upon, then the City can publish and

satisfy the 10-day waiting period. The Council does not have to issue a bond, should they choose not too and there is time to look at other financing options within the bond before then.

Fire Chief Pridgeon stated the truck they are replacing is 22 years old and should have been replaced after 18 years. He expects to get 20 years out of the new truck. The increase in cost of the new truck is related to both inflation and new requirements and standards. The new truck will hold 1,000 gallons of water. To keep the current truck running will cost approximately \$50,000 - \$60,000. He also stated that Pierce is one of the best companies and the truck committee spent two years working with Pierce, as well as visiting all the fire departments that had also purchased new fire engines in the last two years. Pridgeon also stated they plan to use a company to refurbish the old fire engine and feel it could sell for \$10,000. He also stated they are reusing most of the current fire engines tools and have received a donation from the Lions for tools as well.

MOTION by Crandall seconded by Scott, to authorize the Brigg and Morgan to create a bond resolution.

Motion carried unanimously.

f. I94 Trunk Watermain Looping

a. Authorization to Finalize Plans and Bidding Documents

Engineer Kannes updated the Council on the I94 Watermain looping project. He stated the next steps are to submit full plans and specifications and a loan application to the Department of Health by March 30, 2020 for the low interest PFA loan. He stated the City will also have to finish obtaining the easements needed. Kannes stated the benefits of the watermain loop per his memo to council are improved system reliability, increased watermain looping south of I94 for reliability and water circulation, increased fire flow, and additional future development opportunities. Engineer Kannes stated two of the three easements have been obtained. Member Petty inquired as to how the project would be paid for. Lindrud stated it would be funded by the PFA loan, which typically would then be paid out of the water fund. Member Petty inquired how this would affect the City's debt limit. Lindrud stated past PFA loans were not factored into the debt limit, as they were revenue notes, but she will verify. Petty would like to know how this will impact the water rates. Discussion took place in having Lindrud work on a utility rate study. Member Petty asked what the final plans and specifications would cost, Kannes replied around \$30,000. He further stated those plans would still be good further down the road with minor updates. Direction was given to Lindrud to start working on a rate study.

MOTION by Lawrence, seconded by Crandall, to authorize to Finalize Plans and Specifications.

Motion carried 4-1 (Scott -- opposed)

b. Easement Updates

Engineer Kannes stated two of the three easements have been obtained.

g. Trunk Storm Sewer Project

a. Consideration of Establishing Storm Sewer Improvement District

*Member Petty recused himself from discussion.

Engineer Kannes stated that per the Council Workshop that took place before the Council Meeting, it was decided that a Storm Sewer Improvement District was not the best route for the City to take to fund the improvements.

b. Consideration of Authorization to Proceed with Feasibility Report

*Member Petty recused himself from discussion.

Council discussed moving forward with a feasibility report, Kannes stated that the \$10,000 grant can be applied towards the feasibility study cost. The feasibility report would cost between \$15,000 to \$20,000.

**MOTION by Kruchten, seconded by Crandall, to authorize the Feasibility Report.
Motion carried 3-1 (Scott – opposed, Petty -- abstained)**

REPORTS

1. **Mayor and Council** – Mayor Lawrence informed the Council she will be attending the Wright County Mayors Meeting next week.

2. **Boards** – Member Kruchten stated that the Planning and Zoning Board would need to hold another meeting, they did not have a quorum to vote on the CDI Apartments. Member Petty and Mayor Lawrence stated that the Sewer Authority met to discuss an employee matter and that everything was fine, it turned out to be a misunderstanding. They also requested that a Member at Large is needed and for Staff to post an advertisement

3. **Staff** – Interim Administrator Lindrud stated everyone has been very welcoming and helpful. Public Works Supervisor answers a question from Member Scott about the towing services that are used to tow during snow events. Member Kruchten inquired about seeing what the scope of the feasibility report from Bolton & Menk would be before it is started to verify the information will be useful.

Other –

- a. ~~Special Council Meeting December 11th, 2019 6:00 p.m.~~ - Cancelled
- b. ~~Special Council Workshop December 16th, 2019 4:30 p.m.~~
- c. ~~Special Council Meeting December 16th, 6:00 p.m.~~ - Added
- d. ~~Regular City Council Workshop Meeting Monday, December 23rd, 2019 6:00 p.m.~~
–Cancelled
- e. ~~Regular City Council Meeting Monday, December 23rd, 2019 7:00 p.m.~~– Cancelled

ADJOURN:

**MOTION by Crandall, seconded by Petty, to adjourn the council meeting at 9:49 p.m.
Motion carried unanimously.**

Elizabeth Lindrud, Interim City Administrator

Andrea Lawrence, Mayor

Date Approved

**Clearwater City Council
Council Special Meeting Minutes
Clearwater City Council Chamber
December 16, 2019**

CALL TO ORDER

Mayor Lawrence called the meeting of December 16, 2019, to order at 6:04 p.m.

PLEDGE OF ALLEGIANCE

Everyone joined in the pledge of allegiance.

ROLL CALL

- Present: Mayor Lawrence. Members Kruchten, Petty, Crandall, and Scott.
- Absent:
- Staff Present: Interim City Administrator Lindrud and Fire Chief Ryan Pridgeon.
- Public Present: Annita Smythe
- Others Present: A quorum was declared present.

APPROVAL OF RESOLUTION 2019-54 APPOINTING ANNITA SMYTHE CITY ADMINISTRATOR

Council welcomed Annita Smythe.

**MOTION by Crandell, seconded by Kruchten, to approve Resolution 2019-54.
Motion carried unanimously.**

APPROVAL OF RESOLUTION 2019-55 DETERMINING TO ISSUE GO EQUIPMENT CERTIFICATES 2020

Council discussed that the resolution to issue the GO Equipment Certificates needed to be published for 10 days to satisfy state statute allowing the public to petition for a reverse referendum. The City is not obligated to issue the equipment certificate by approving this resolution. Interim Administrator Lindrud explained that the price for the fire engine will increase by 4% January 31st, 2020. Lindrud further explained Council would not need to issue the equipment certificate until later in 2020 giving the City time to look into the best financing options. Member Kruchten and Fire Chief Pridgeon discussed what type of engine was being purchased and its uses for the City.

**MOTION by Petty, seconded by Crandall, to approve Resolution 2019-55.
Motion carried unanimously.**

APPROVAL OF RESOLUTION 2019-56 APPROVAL TO ORDER FIRE ENGINE

Member Petty inquired if this engine would still be needed if Clearwater and Lynden Township were to end the fire contract with the City. Fire Chief Pridgeon stated the City would still need it for accidents on I94 and the highway. He further stated the City would still need both Engine 11 and Engine 12 for structure fires. Member Petty inquired on what the additional levy amount would be. Interim Administrator Lindrud stated it depends on the years that the City would like to finance the debt, but it would be around \$105,000 for 10 years and closer to \$150,000 or more for 5 years. Council discussed tabling the resolution for the January 13th meeting so that the townships could be present.

MOTION by Crandall, seconded by Scott, to table Resolution 2019-56.

Motion carried unanimously.

ADJOURN:

MOTION by Petty, seconded by Scott, to adjourn the council meeting at 6:28 p.m..

Motion carried unanimously.

Elizabeth Lindrud Interim City Administrator

Andrea Lawrence, Mayor

Date Approved

DRAFT

City of Clearwater
City Council Workshop Meeting Minutes
December 16, 2019

OPEN WORKSHOP

Mayor Lawrence opened the workshop at 4:36 p.m. on December 16, 2019, for the purpose of Discussion on the 2020 Fire Contract and 2021 Contract.

ROLL CALL

Present: Mayor Lawrence. Council Members Kruchten, Scott, Crandall, and Petty.

Absent:

A quorum of the City Council was declared present.

Staff present: Finance Director Lindrud.

Others Present: Jay Squires – City Attorney. Mike Courie – Lynden and Clearwater Township Attorney. Scott Miller, Jean Just, Rose Theilen, and Bill Langenbacher – Clearwater Township. Dave Johnson and Tom Plaggerman – Lynden Township.

2020 Fire Contract

Member Petty stated that the 2020 Fire Contract is in effect and clarified any confusion over which contract had been terminate. Both Clearwater and Lynden Townships are in agreement that the 2020 Fire Contract was still in effect.

2021 Fire Contract

Discussion over the 2021 Fire Contract formula took place. Member Petty stated there were two options; one that the City is running the ‘business’ and the townships are the clients, or the three entities could form a fire commission and be invested together. The City and Townships agreed that currently the model is that the City sets the formula and the three entities would like to find a fair formula for the contract. Lynden Township members stated that the market value includes values for both land and buildings and they would like to see just the building market value used. The Townships would also like to see the formula take into consideration the calls. The Townships would also like to see improved communication in future decisions related to the fire department and fire contract. Council agreed that there would need to be another meeting in January to discuss the fire contract further and that the market value numbers would be updated.

ADJOURN

Meeting closed at 6:01pm.

Elizabeth Lindrud Interim City Administrator

Andrea Lawrence, Mayor

_____ Date Approved

**CITY OF CLEARWATER
WRIGHT AND STEARNS COUNTIES, MINNESOTA**

A regular meeting of the City Council of the City of Clearwater, Minnesota, was called to order by Mayor Lawrence at 7:00 p.m. in the Council Chambers at City Hall on Monday, January 13, 2020.

The following Council Members were present:

The following Council Members were absent:

A motion to adopt the following resolution was made by _____ and seconded by _____.

.....

RESOLUTION 2020-01

ACCEPTING DONATION OF MONIES TO THE CLEARWATER FIRE DEPARTMENT FOR EXTRICATION TOOLS

WHEREAS, Minnesota State Statute 465.03 requires that governing bodies must formally accept donations and contributions and that every such acceptance shall be by resolution of the governing body adopted by a two-thirds majority of its members, expressing such terms in full; and

WHEREAS, The City seeks to properly accept and record donations and contributions in accordance with all state statutes and state auditor requirement;

NOW THEREFORE, BE IT RESOLVED, that the City of Clearwater does formally accept the donation of \$1,215.00 from Clearwater Travel Plaza to be used by the Clearwater Fire Department for extrication tools.

Council members voting in favor:

Opposed or Abstained:

Adopted by the City Council this 13th day of January, 2020.

ATTEST:

APPROVED BY:

Annita M. Smythe, City Administrator

Andrea Lawrence, Mayor

Liz Lindrud

From: Justin Kannas <Justin.Kannas@bolton-menk.com>
Sent: Tuesday, December 10, 2019 3:43 PM
To: Liz Lindrud
Cc: Johnny Schmidt
Subject: 40 Porter Circle Bushes

Liz

Can you please send this to the council for their information -

I talked to Jordan, our on site project representative during the SE Street project, regarding the shrubs at 40 Porter Circle. Jordan indicated the discussion with the resident was that he would talk to the contractor and see if they could scoop out the shrubs save them as a courtesy but there wasn't any indication that the contractor would water them and maintain them during the project and re-plant them. My understanding is the contractor did scoop them out but nobody maintained them and re-planted them so they eventually were hauled away.

I also talked to John Schmidt and his recollection was similar – that there weren't any promises made to the resident that the bushes would be saved, watered and re-planted. It was indicated to her that the City would see if there is an existing policy about replacement within the right of way.

The contractor had difficulty in this area because the old curb stop water shut off was not locatable (the City was never able to find the old one) so additional digging was done to try and find it. Finally, the contractor completed alternate means (by boring under the shrubs) to minimize the disturbance to the shrubs to the extent that they could.

The shrubs were within the right-of-way. The Council should be aware there were other trees and shrubs within the right-of-way that were removed within the project area as well.

If any additional information is needed or there are any questions by the council, please contact me.

Thanks,

Justin L Kannas P.E.
Principal Engineer
Bolton & Menk, Inc.
2040 Highway 12 East
Willmar, MN 56201-5818
Email: justin.kannas@bolton-menk.com
Phone: 320-231-3956 ext. 2720
Mobile: 320-905-2704
Bolton-Menk.com



**BOLTON
& MENK**

Real People. Real Solutions.

2040 Highway 12 East
Willmar, MN 56201-5818

Ph: (320) 231-3956
Fax: (320) 231-9710
Bolton-Menk.com

MEMORANDUM

Date: January 7, 2020
To: Honorable Mayor Lawrence-Wheeler and Members of the City Council
City of Clearwater, Minnesota
From: Justin L. Kannas, P.E.
City Engineer
Subject: CR75 Trunk Storm Sewer Project
City of Clearwater
Project No.: R16.117733

On December 9, 2019 the City Council authorized proceeding with a Feasibility Report for the CR 75 Trunk Storm Sewer Project. As requested at that meeting, below is an outline of items that will be addressed with the feasibility report.

- 1) Build a storm water model for existing conditions
- 2) Build a storm water model for proposed conditions to include the following:
 - a. Hydrology analysis
 - b. Define proposed drainage area to the trunk storm sewer main line pipe
 - c. Main line storm sewer pipe sizing
 - d. Preliminary regional storm water pond sizing
 - e. Preliminary storm water rate control calculations
- 3) Preliminary main line storm sewer pipe routing location
- 4) Preliminary regional pond siting
- 5) Define preliminary easement acquisition needs
- 6) Prepare a Preliminary Cost Estimate
- 7) Determine approximate costs related to the benefitting property owners for Blaine Brothers and the MNDOT owned parcel
- 8) General review and discussion regarding possible risk levels to the City if the storm water infiltration basins remain within the DWSMA
- 9) Summarize information in a final report including text and figures

Additionally, we have reviewed the possibility of further exploring other aquifers near the City of Clearwater in search of a low vulnerability site for a well field which would not limit storm water infiltration practices. The Minnesota Department of Health recently updated Part 1 of the Clearwater Wellhead Protection Plan with the most recent geology information available and pumping data. There were no changes to the DWSMA area. We have reviewed the geological cross sections in this area. The cross sections do not provide any indication of additional aquifers within the DWSMA which would have a low vulnerability. Therefore, we would not recommend further studies or exploration for low vulnerability aquifers within the current DWSMA.

Honorable Mayor Lawrence and Members of the City Council

January 7, 2020

Page: 2

We obtained a proposal to further study an area outside of the existing DWSMA. The study would search for possible aquifers with low vulnerability. Attached is a proposal from Leonard Rice Engineers to complete a Desktop Hydrogeologic Assessment within an area south and east of the existing DWSMA as shown on Figure 1 in the proposal. The cost of the study is \$6,500. If the City Council would like to proceed with this analysis, I would recommend approval of the attached proposal and that this work be completed prior to additional feasibility work on the trunk storm sewer sizing.

If you have any questions, please feel free to contact me.

JLK/jk

January 7, 2020

Justin Kannas, P.E.
Principal Engineer
Bolton & Menk, Inc.
2040 Highway 12 East
Wilmar, MN 56201-5818

RE: Proposal for Desktop Hydrogeologic Assessment
City of Clearwater
Clearwater, MN

Dear Justin,

The purpose of this correspondence is to provide Bolton & Menk, Inc. (BMI) with Leonard Rice Engineers, Inc.'s (LRE) proposal for conducting a desktop hydrogeologic assessment (Assessment) for the City of Clearwater, Minnesota (City). The area of the Assessment, referred to as the Study Area and shown on Figure 1, includes an area adjacent to, and east-southeast of the City's 2007 and 2020 (in progress) Part 1 Wellhead Protection (WHP) Plan DWSMA that was delineated by the Minnesota Department of Health (MDH).

BACKGROUND AND OBJECTIVES

LRE understands BMI and the City are in the process evaluating alternatives and proposed locations(s) for a large stormwater infiltration basin. Guidance from the Minnesota Pollution Control Agency (MPCA) requires that such a structure cannot be built in DWSMAs that overlie highly vulnerable aquifers, which is the case for the area of the City's DWSMA where the basin could potentially be located. This vulnerability was determined by the MDH per the procedures described in Minnesota Rules, Part 4720.5210, subpart 3. The information from this Assessment will assist BMI and the City in determining if there are any areas within the Study Area where the underlying aquifer is not considered highly vulnerable, which is beneficial for siting the basin, or possibly relocating the City's well field outside of the current DWSMA.

The two primary objectives of the Assessment are as follows:

1. Evaluate the aquifer vulnerability that underlies the Study Area; and,
2. Assess the hydrogeology in the Study Area to determine if the aquifer has the potential to be developed into a new well field.

SCOPE OF SERVICES

The following tasks will be completed to meet the objectives of this Assessment.

Task 1: Vulnerability Assessment

- Review the City's existing WHP Plan.
- Obtain and review available well logs and other relevant data from existing wells within the Study Area from the MDH's Minnesota Well Index (MWI) Database.
- Obtain and review available groundwater chemistry data for the existing City wells from the City or MDH. Specifically review chloride and bromide ratios and tritium concentrations in groundwater from the City wells to assist in determining aquifer vulnerability.
- Complete a vulnerability analysis for all wells across the Study Area that have available geologic logs. The analysis will follow the method used by the MDH for completing these analyses as part of the Part 1 WHP planning process per Minnesota Rules noted above.

Task 2: Aquifer Mapping

- Draft two (2) hydrogeologic cross sections through the Study Area east-southeast of the existing DWSMA. These cross sections will be combined with the original cross sections in the WHP Plan to better characterize the hydrogeology and extent of the aquifer across the Study Area.
- Utilize the well logs from the MWI and existing studies obtained in Task 1 to map the thickness and approximate extent of the aquifer in the Study Area.
- Complete a preliminary evaluation of the aquifer in the Study Area to determine if it has the characteristics to potentially support a new well field, and identify general data gaps.

Task 3: Analysis and Reporting

- Complete a letter report summarizing the findings of the work completed. The report will provide an understanding of the aquifer vulnerability across the Study Area based on the existing 2007 and 2020 (in progress) Part 1 WHP Plan, available geologic logs, and other relevant hydrogeologic studies.
- Include the results from the aquifer mapping and potential well field development assessment for the Study Area, and provide a summary of data gaps and recommendations.

COST ESTIMATE

The estimated cost to complete this Assessment is time and materials not-to-exceed \$6,500. This Assessment is to be based on readily available data provided by the sources listed above and shall not include any verification through test hole drilling, aquifer testing or other field investigation activities unless approved by BMI under a separate scope of work. If the project requires LRE services to go beyond our scope or in excess of the cost provided, these services will not be completed without your authorization.

Mr. Justin Kannas
January 7, 2020
Page 3

Thank you for the opportunity to provide this proposal to BMI. If you have any questions, please contact me at (651) 341-8199.

Sincerely,

LEONARD RICE ENGINEERS, INC.

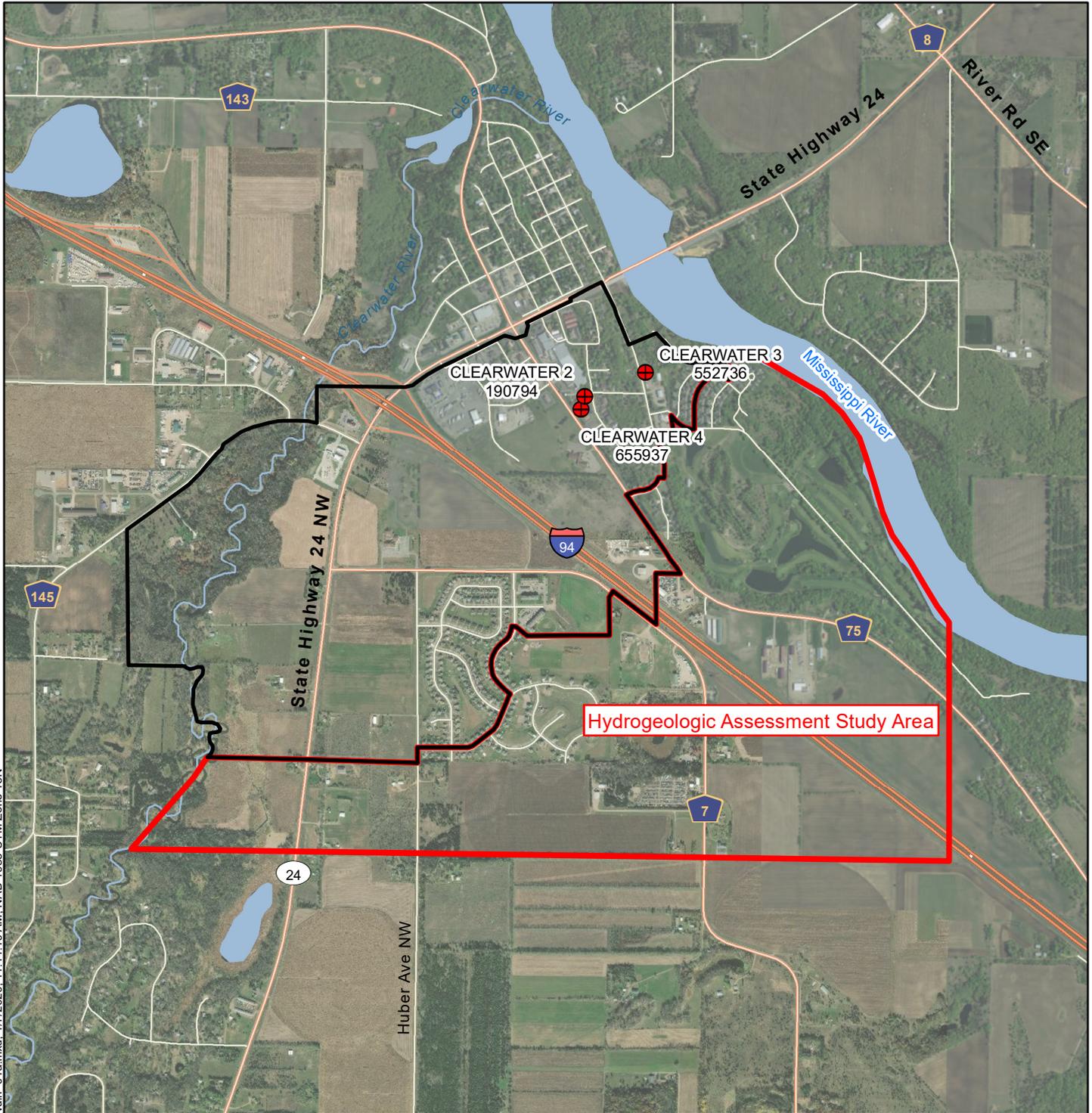


Roscoe F. Sopiwnik, GISP
Senior Environmental Scientist



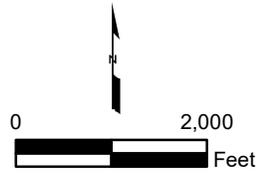
David S. Hume, PG
Vice President of Midwest Operations

Enclosure:



E:\GIS\BIM\Clearwater\MN_Vulnerability\maps\clearwater_vuln_01a.mxd, 1/7/2020, 11:44:19 AM, NAD, 1983 UTM Zone 15N

-  City Well
 -  Study Area
 -  Drinking Water Supply Management Area (2007 and 2020 WHP Plan Part 1)
- Clearwater 2 — City Well Number
 190794 — Unique MWI Number



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Prepared By:
LEONARD RICE ENGINEERS, INC.
 Integrated Water Resource Solutions
 1221 Auraria Parkway
 Denver, Colorado 80204
 (303) 455-9589

CITY OF CLEARWATER		
CLEARWATER, MINNESOTA		
HYDROGEOLOGIC ASSESSMENT STUDY AREA		
FILE: clearwater_vuln_01a.MXD	DATE: 1/7/2020	FIGURE: 1

**CITY OF CLEARWATER
WRIGHT AND STEARNS COUNTIES, MINNESOTA**

A regular meeting of the City Council of the City of Clearwater, Minnesota, was called to order by Mayor Lawrence at 7:00 p.m. in the Council Chambers at City Hall on Monday, January 13, 2020.

The following Council Members were present:

The following Council Members were absent:

A motion to adopt the following resolution was made by _____ and seconded by _____.

.....

**RESOLUTION 2020-02
APPROVING THE PURCHASE OF A FIRE ENGINE**

WHEREAS, the Fire Department requests permission to replace the current Fire Engine 12 with a new Fire Engine; and

WHEREAS, the Fire Department spent two years researching the replacement Fire Engine; and

WHEREAS, a quote was obtained from Pierce for \$771,714 for a 2019 Pierce Velocity TME pumper; and

WHEREAS, the purchase will be funded by an Equipment Certificate; and

WHEREAS, the amount of the Equipment Certificate exceeds the .25 percent of the estimated market value of the taxable property in the city; and

WHEREAS, the City shall not issue the Equipment Certificate for at least ten days (December 31st, after publication in the official newspaper of Resolution 2019-55; and

WHEREAS, the Fire Department shall not order the Fire Engine until at least ten days (December 31st, 2019) after the publication in the official newspaper of Resolution 2019-55.

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of Clearwater hereby approves the purchase of the \$771,714.00 2019 Peirce Velocity TME pumper to be ordered after December 31st, 2019.

Council members voting in favor:

Opposed or Abstained:

Adopted by the City Council this 13th day of January, 2020.

ATTEST:

APPROVED BY:

Annita M. Smythe, City Administrator

Andrea Lawrence, Mayor

FROM: Kevin Shay, Landform

RE: Rezoning, Preliminary Plat, Final Plat, Site Plan and PUD Amendment to allow construction of a 52-unit apartment building and accessory garage structures (PID#s 104019000010 & 104020000020)

1. Application Request

Gohman Construction is requesting approval of a rezoning, preliminary plat, final plat, site plan and PUD amendment to allow construction of a 52-unit apartment building and two accessory garage structures.

2. Background

The site is currently home to maintenance buildings used for the golf course.

3. Context

Level of City Discretion in Decision-Making

The City has a relatively high level of discretion in approving or denying a rezoning application. The proposed zoning for a property must be consistent with the City's Comprehensive Plan. If the proposed zoning is not consistent with the Comprehensive Plan, the City must deny the rezoning application. The Zoning Ordinance and Map are the enforcement tools used to implement the goals and standards set in the Comprehensive Plan.

The City's discretion in approving or denying a preliminary plat is limited to whether or not the proposed plat meets the standards outlined in the City's subdivision and zoning ordinance. If it meets these standards, the City must approve the preliminary plat.

The City's discretion in approving a final plat is limited to whether or not the proposed plat meets the standards outlined in the City's subdivision and zoning ordinance and the conditions of preliminary plat approval. If it meets these standards, the City must approve the final plat.

The City's discretion in approving or denying a site plan is limited to whether or not the proposed request meets the standards outlined in the City's subdivision and zoning ordinance. If it meets these standards, the City must approve the site plan.

The City's discretion in approving or denying a PUD amendment is limited to whether or not the proposed PUD amendment is consistent with the City's Comprehensive Plan. The City may impose reasonable requirements in a PUD not otherwise required if the City deems it necessary to promote the general health, safety and welfare of the community and surrounding area.

Zoning and Land Use

Both properties are designated as Park/Open Space on the Clearwater Future Land Use Map in the 2015 Clearwater Comprehensive Plan. Both properties are currently zoned R-1 Residential Single Family on the zoning map. The inconsistency between land use and the zoning has been noted and will be taken care of at a later date.

Surrounding Properties

The properties to the north and west are guided Low Density Residential and zoned R-1 Residential Single Family. The property to the south is guided park/open space and zoned PUD Planned Unit Development. The property to the east is guided Low Density Residential and zoned PUD Planned Unit Development.

Natural Characteristics of the Site

The Comprehensive Plan shows no wetlands on site. The northeast corner of the site is located in the Wild and Scenic Corridor Overlay.

4. Analysis of Request

The applicant is proposing to construct a 23,309 sq. ft. building to be used for a 52-unit apartment building. The building will contain a mix of unit sizes ranging from 729 sq. ft. to 1,005 sq. ft. The applicant is also proposing to construct two 4,390 sq. ft. detached garages to provide additional enclosed parking and storage space for the residents. Staff reviewed this request for compliance with the Comprehensive Plan, Zoning Ordinance and City Code requirements.

Setbacks

Section 117-583 provides dimensional standards for lots in the R-6 High Density Residential District. While the property is proposed to be rezoned to PUD, the R-6 district provides the baseline standards for this use. The following table shows the minimum and proposed standards for the site;

Standard	Minimum	Proposed
Lot Area	2,500 sq. ft./unit	3,904 sq. ft./unit
Lot Width	100 ft.	468.5 ft.

Building Setback:	-	-
Front (South and West)	30 ft.	32.6 ft. for west lot line. 42.6 ft. for south lot line.
Side	10 ft.	17.1 ft.
Rear	30 ft.	116.9 ft.
Parking Setback:	-	-
Front*	10 ft.	57.3 ft. for west lot line 6.3 ft. for south lot line
Side*	10 ft.	0 ft. for the north lot line corner
Rear	10 ft.	35 ft. for the east lot line
Principal Building Height*	35 ft.	45 ft.
Accessory Building Size*	30% of principal structure size	38.6% of principal structure size

*Standard not met but is part of requested PUD flexibility.

Building and Architecture

Gohman Construction is proposing to construct three separate buildings, the principal apartment structure and two accessory garage structures. The principal structure is proposed to be constructed using a mix of concrete masonry units (CMU) rockface, cultured stone and a variety of steel siding colors with a wood grain finish. The two proposed garage structures will be constructed using CMU rockface and a variety of the same wood grain steel siding as the principal structure. The proposed building materials comply with the required material types of Section 117-1066 of the Zoning Ordinance.

Access

Access to the proposed development is provided from a connection onto Main Street across from Koffman Circle.

Parking

Section 117-1168 of the Zoning Ordinance requires parking spaces for each use located in the principal structure. The multi-family residential use requires 2.5 parking spaces per unit, of which one must be enclosed.

The applicant is providing 52 residential units, which requires 130 parking spaces with 52 of the spaces being enclosed. The applicant is proposing to provide 134 parking spaces, with 66 of the spaces being enclosed. Staff finds that the applicant complies with the requirements for total parking. Staff also reviewed the dimensional standards for the parking spaces and in Section 117-1164 and finds that the plans meet or exceed the dimensional requirements of the Zoning Ordinance.

Screening

Section 117-1130 of the City Code requires that the apartment building and parking lot facing the eastern lot line be screened using a fence or green belt planting strip to provide a visual buffer. The screening shall be designed to provide complete visual screening to a minimum height of six feet. The green belt planting strip may contain large shrubs, evergreen trees and/or deciduous trees. The applicant will need to provide a revised landscape plan that includes the required screening on the east lot line.

Landscaping

Section 117-1130 of the Zoning Ordinance requires one tree per dwelling unit for the first ten units and one tree per five dwelling units thereafter. With 52 units the applicant is required to plant 18 trees. 50% of the required number of trees may be substituted with the use of shrubs in combination with other landscape design elements. The applicant is proposing 21 trees and 52 shrubs, which is greater than the required number. Staff finds that the plans comply with the landscaping requirements but will need additional shrubs/trees to meet the screening requirements.

Lighting

Section 117-1036 of the Zoning Ordinance requires that all exterior lighting shall be so directed so as not to cast glare toward or onto the public right-of-way or neighboring residential uses or districts. The lighting shall not read more than ½ foot candle from the centerline of the street or a ½ foot candle from a property line adjacent to any property. The applicant has not provided a lighting plan, but all lighting will need to comply with the lighting standards.

Trash Enclosure

The applicant has proposed a trash enclosure on the northeast corner of the parking lot. Consistent with the performance standards of Section 117-1106 of the Zoning Ordinance, the color elevations show that the trash enclosure is fully enclosed and will be constructed using rock face CMU to match the materials used in the principal structure.

Signage

The applicant is proposing to construct one monument sign located at the entrance to the site. Section 117-1256 of the Zoning Ordinance provides the standards for permanent signs based on the zoning district in which it is located. The R-6 district allows monuments signs no greater than 32 sq. ft. in size with a max height of eight ft. and setback 10 ft. from the property line. The proposed monument sign meets all of the standards.

Other Reviews

The City Engineer reviewed the plans on November 19, 2019. Staff has included a condition that the applicant work with staff to address comments contained in the report in a manner that is satisfactory to the City.

The applicant will need to comply with applicable requirements from the Building Inspector.

Rezoning

The applicant is proposing to rezone the property from R-1 Residential Single Family to PUD Planned Unit Development. The Planning Commission shall consider possible adverse effects of the proposed use. Its judgment shall be based upon, but not limited to, the following factors;

1. *The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the official city comprehensive plan.*

The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the City's Comprehensive Plan. The Comprehensive Plan identifies the need for diverse housing choices with a variety of price ranges. The proposed project will provide a housing type that is underrepresented in Clearwater's existing housing stock.

2. *The proposed use is or will be compatible with present and future land uses of the area.*

The proposed use will be compatible with the future land use of the area. The land use map is currently guiding the land for park and open space. This was consistent with the golf club house that is currently occupying the property. The land was anticipated for further development with the initial PUD and the land use should be changed to reflect that.

3. *The proposed use conforms to all performance standards contained herein and this Code.*

The proposed use conforms to all performance standards contained within the code aside from the requested flexibility as part of the PUD.

4. *The proposed use can be accommodated with existing public services and will not overburden the city's service capacity.*

The proposed use can be accommodated with existing public services and will not overburden the City's service capacity. The City Engineer has reviewed the plans and has found that the existing public services will be sufficient for the development.

5. *Traffic generation by the proposed use is within capabilities of streets serving the property.*

Traffic generation by the proposed use is within capabilities of streets serving the property.

Site Plan and PUD Amendment

The purpose of the PUD is to provide for flexibility in the strict application of the land use regulations in order to improve site design and operation, while at the same time incorporating design elements (e.g., construction materials, landscaping, lighting, etc.) that exceed the city's standards to offset the effect of any flexibility. The applicant has requested a PUD Amendment to allow some flexibility from the minimum code standards in the following areas;

City Standard	Proposed Development Standard
10-foot setback for parking lot drive aisles.	A parking setback of 0 feet for the drive aisle adjacent to the southeast corner of PID 104037002050.
10-foot setback for parking lot drive aisles.	A parking setback of 6.5 feet for the drive aisle adjacent to the south lot line.
35-foot maximum building height.	A maximum principal structure height of 45 feet for the apartment building.
30% maximum accessory structure coverage.	A maximum accessory structure size of 39% of the principal structure size.

The Planning Commission should evaluate the effects of the proposed site plan and PUD amendment and discuss if the flexibility is granted whether the site design, landscaping and other elements provided offset the effect of the flexibility. This review shall be based upon, but not limited to the following factors:

1. *Compliance with and effect upon the comprehensive plan and public facilities plans.*

The use complies with the Comprehensive Plan and public facilities plans.

2. *The establishment, maintenance or operation of the use, event or activity will promote and enhance the general public welfare and will not be detrimental to or endanger the public health, safety or welfare.*

The establishment of the use will promote and enhance the general public welfare and will not be detrimental to or endanger the public health safety or welfare. The new apartment building will provide a solution to the existing stormwater management issues with the development of the project site.

3. *The use event, or activity will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted.*

Provided the applicant revises the plans to provide the screening, the use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted.

4. *The establishment of the use, event or activity will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.*

The establishment of the use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

5. *Adequate public facilities and services are available or can be reasonably provided to accommodate the use, event or activity which is proposed.*

Adequate public facilities and services can be reasonably provided to accommodate the use.

6. *The use, event or activity shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

The use complies to the applicable regulations of the R-6 district aside from the requested flexibilities as part of the PUD. The R-6 district provides the applicable standards for the high-density residential use.

7. *The use, event or activity and site conform to the performance standards as outlined in section 117-128 (conditional use permit, general performance standards) and all other applicable provisions of this chapter.*

Provided the applicant makes the revisions provided in the staff report, the use will conform to the performance standards of Section 117-128 and all other applicable provisions of the site plan review chapter

8. *The request complies with all other applicable sections of this Code.*

The request complies with all other applicable sections of this code as discussed in the staff report.

Preliminary Plat / Final Plat

The applicant is proposing to plat the two properties included in the project. The reason for the request is due to the restriction that buildings are not allowed to be constructed on outlots. The platting of the property will create a single lot for the proposed apartment building and accessory garage structures. The proposed plat is in conformance with the requirements of the City's subdivision ordinance.

5. Summary

Provided that the applicant revises plans as noted in the staff conditions, the applicant meets the requirements of the rezoning, preliminary plat, final plat, site plan and PUD amendment.

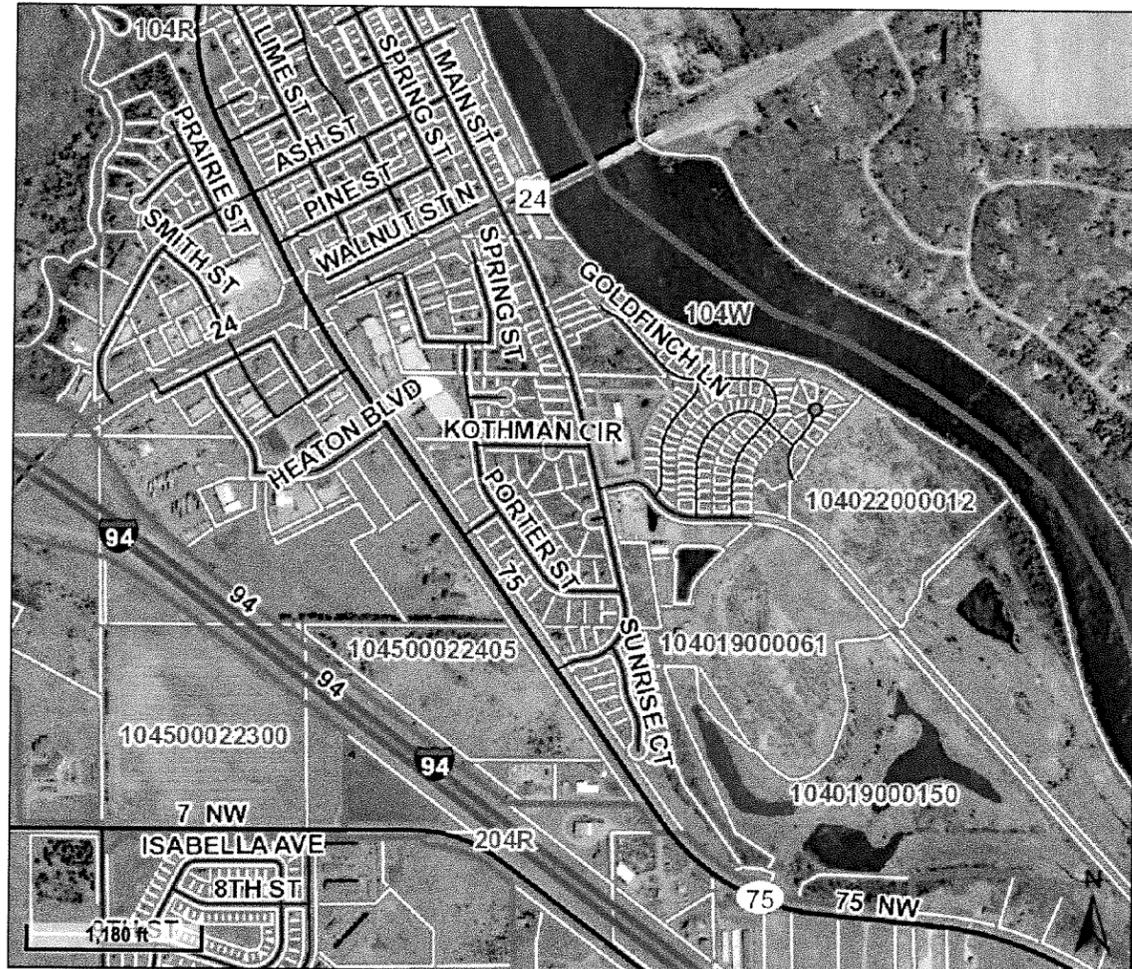
6. Recommendation

Recommend approval of the following resolutions/ordinance to allow construction of a 52-unit apartment building, subject to staff conditions;

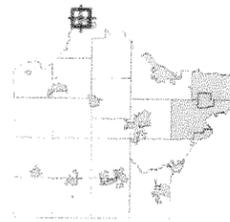
- a. Planning Commission Preliminary Plat Resolution and Findings of Fact
- b. Planning Commission Final Plat Resolution and Findings of Fact
- c. Planning Commission Site Plan and PUD Amendment Resolution and Findings of Fact
- d. Planning Commission Rezoning Findings of Fact

Attachments

- 1. Planning Commission Preliminary Plat Resolution and Findings of Fact
- 2. Planning Commission Final Plat Resolution and Findings of Fact
- 3. Planning Commission Site Plan and PUD Amendment Resolution and Findings of Fact
- 4. Planning Commission Rezoning Findings of Fact
- 5. City Engineer's Memo dated November 19, 2019
- 6. Applicant's Narrative dated October 15, 2019
- 7. Site Plan dated September 30, 2019
- 8. Landscape Plan dated September 30, 2019
- 9. Architectural Elevations dated September 30, 2019



Overview



Legend

- Roads**
- CSAHCL
 - CTYCL
 - MUNICL
 - PRIVATECL
 - TWPCCL
- Highways**
- Interstate
 - State Hwy
 - US Hwy
- City/Township Limits**
- c
 - t
 - Parcels

Parcel ID	10401900010	Alternate ID	n/a	Owner Address	CLEARWATER DEVELOPMENT INC
Sec/Twp/Rng	02-122-027	Class	201 - RESIDENTIAL		PO BOX 370
Property Address	1100 MAIN ST CLEARWATER	Acreage	n/a		CLEARWATER, MN 55320

District 0401 CITY OF CLEARWATER 742
Brief Tax Description Sect-02 Twp-122 Range-027 CLEARWATER ESTATES OUTLOT A
 (Note: Not to be used on legal documents)

Date created: 11/19/2019
 Last Data Uploaded: 11/19/2019 3:49:18 AM

Developed by Schneider
 GEOSPATIAL



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& MENK**

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2040 Highway 12 East
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Ph: (320) 231-3956
Fax: (320) 231-9710
Bolton-Menk.com

MEMORANDUM

Date: November 19, 2019
To: Honorable Mayor Lawrence-Wheeler, Members of the City Council and
Members of the Planning Commission – Clearwater, Minnesota
From: Justin L. Kannas, P.E.
City Engineer
Subject: Clearwater Estates Apartments
Clearwater, Minnesota
BMI Project No: W13.118405

I have reviewed the preliminary plans dated September 26, 2019 and the preliminary plat October 8, 2019 for the above referenced project and have the following comments:

- 1) The construction of new infiltration basins is prohibited per MPCA stormwater requirements due to the location being within a Drinking Water Supply Management Area. The Developer shall revise the stormwater management plan to control the rate and volume of runoff to be less than existing conditions to all discharge points off site. A table summarizing volumes of runoff to each discharge point for the 2, 10, and 100 year storm events shall be included.
- 2) The applicant shall submit storm sewer sizing calculations. The storm sewer shall be sized for a 10 year storm event.
- 3) A detailed review of the storm water management plan and storm water calculations will be completed after changes are made to eliminate the infiltration basin.
- 4) The following City Standard Details shall be added to or replaced in the plan: 206, 308, 310A, 311B, 312A, 401, 402, 404, 410 and 411.
- 5) The existing watermain within Main Street south of Kothmann Circle shall be shown on the plans.
- 6) The plans shall be subject to review and comment by the Fire Chief regarding hydrant locations, site circulation, fire suppression service shut offs, and riser room location and access.
- 7) Details of the combined domestic and fire suppression water service into the building shall be worked out with the City Engineer, Fire Chief and Public Works Director regarding shut off locations and location of where the 2 services separate.
- 8) The curb cuts and slopes where the sidewalk crosses the curb on the south end of the site shall meet ADA requirements.
- 9) Permission shall be obtained from the Clearwater Estates Association for any work within the Eagle Drive right of way.
- 10) Please add a note to Sheet C1 under Standard Specifications that all improvements shall conform

to the City of Clearwater Standards.

- 11) A concrete valley gutter shall be constructed through the entrance off of Main Street.
- 12) The swale along the west side of the south garage shall be located a minimum of 5 feet from the building.
- 13) Plans signed by a Licensed Engineer for all retaining walls over 4 feet in height shall be submitted to the City.
- 14) No pond excavation shall occur within the existing 20 foot utility easement on the north side of the site. The easement area should remain relatively flat for an access point to the Clearwater Estates Pond and the storm sewer from Main Street to the pond.
- 15) A lighting plan and photometric plan shall be submitted for review and comment by the City Planner and City Engineer.
- 16) The developer shall be responsible for paying all development fees including but not limited to SAC/WAC, Trunk Area Fees, and Park Dedication Fees.
- 17) The Developer shall be responsible for obtaining all permits including but not limited to the MPCA Sanitary Sewer Extension Permit, MDH Watermain Permit, MPCA NPDES Construction Stormwater Permit, and the Department of Labor and Industry Permit (DOLI). Please forward a copy of all permits to the City Engineer prior to construction.
- 18) The Developer shall execute a Site Improvement Agreement prepared by the City.

I recommend approval of the preliminary and final plat contingent upon the above comments and comments as submitted by other City Staff. The applicant shall submit revised plans and storm water calculations for approval by the City Engineer prior to issuance of a building permit.

JLK/jk

cc: Kevin Kress, City Administrator, City of Clearwater
Deb Petty, Deputy Clerk, City of Clearwater
Michael Gohman, Developer, Clearwater Development Inc.
Kevin Shay, City Planner, Landform
Joseph Pelawa, P.E., Bolton and Menk, Inc.

Clearwater Apartments

Brian Schultz <schultzeng@live.com>

Wed 12/4/2019 4:47 PM

To: 'Justin Kannas' <justinka@bolton-menk.com>; Deb Petty <DPetty@clearwatercity.com>

Cc: 'Graeme Mahler (gmahler@mahlerarchitecture.com)' <gmahler@mahlerarchitecture.com>; Rodney Kadlec <rkadlec@Mahlerarchitecture.com>

📎 2 attachments (9 MB)

19023Clearwater Apts Civil Check Set REV 112919.PDF; 19023Clearwater Apts Storm Calcs REV 120419.PDF;

Hi Justin,

Attached is the revised civil drawing set, and storm water calculation report for the proposed Clearwater Apartments project. Responses to your review comments from 11/19/2019 are listed below. Numbering of the responses correspond with the numbering of your review comments:

1. Previously proposed infiltration basin has been revised as a dry detention pond in order to provide rate control for the proposed project while within the wellhead protection area. Per our meeting, storm water management related to water quality is not required for this project, as there is actually a net decrease in impervious surfacing from existing to proposed.

The associated outlet structure consist of a 4" orifice within a weir wall, and this orifice alone controls the discharge rate of the proposed pond for all storm events (2-year, 10-year, and 100-year), thus, the discharge rate of the proposed pond has been minimized as much as possible per discussion at our recent meeting.

2. Storm water calculations include a HydroCad model of the 10-year storm event. Review of this model will show that proposed storm sewer pipe is sized to convey runoff generated by this storm event.
3. Understood.
4. The requested City of Clearwater Standard Details have been added to the civil plan set. Please note that the plan set now has a total of 7 sheets.
5. Existing water main within Main Street, and south of Kothmann Circle, has been added to the existing conditions background indicated on the plan view sheets. This water main is shown just behind the east curb line as per Record Drawings provided to us, which were completed by SEH, and dated 03/03/2003.
6. Understood.
7. Understood.
8. Curb cuts and slopes of all sidewalk currently meet ADA requirements.
9. Developer responsibility.
10. The requested note has been added to Sheet C1 (General Notes & Specifications) of the plans. Please note that the note also indicates that the more stringent of the specifications (the City's specifications vs. the specifications listed on Sheet C1) shall be adhered to. While we appreciate the City's desire that all sanitary sewer and water utilities within the City meet City standard specifications, utilities within private development are also governed by the MN Plumbing Code (via the MN DOLI). Proposed sanitary sewer and water design/details/specifications also need to pass State Plumbing Review, and we have had some issues on past projects where standard City specifications in other cities did not meet MN Plumbing Code requirements.

11. Concrete valley gutter has been added to the plans at the proposed driveway entrance as per City Standard Detail #206.
12. Per our recent meeting, it is the Developer's desire to maintain existing trees and berming adjacent to the proposed south garage as much as possible. The south garage walls will be constructed with the necessary waterproofing.
13. Developer responsibility. Retaining wall design would most likely be provided by the retaining wall material supplier's Engineer.
14. The proposed dry detention pond is located outside of the existing utility easement.
15. Developer responsibility.
16. Developer responsibility.
17. Developer/General Contractor responsibility.
18. Developer responsibility.

Please call me with any questions.

Thanks!

Brian Schultz, PE
Civil Engineer

Schultz Engineering & Site Design

18 South Riverside Avenue

Suite 230

Sartell, MN 56377

Direct: (320) 339-0669

Fax: (866) 633-1830

schultzeng@live.com

www.schultzengineeringdesign.com

October 15, 2019

City of Clearwater
Attn: Kevin Kress - City Administrator
PO Box 9
Clearwater MN 55320
RE: Amendment to the PUD

Dear Mr. Kress,

In response to the letter dated October 2, 2019 from Landform please use this letter as a request to allow some flexibility in the PUD requirements for the planned apartment complex. There are three areas that need to be addressed:

1. North and South Drive do not meet required 10-foot setback. The road around both ends of the building ensure good access for emergency vehicles and smooth flow of regular traffic. On the North end the road going around the building abuts to the point of the property owned by the City that has a well on it. Due to the shape of the property owned by the City and the use of the property it does not appear that this will cause any issues with function to the City parcel. On the South end of the property the road parallels the main entrance into Clearwater Estates so the usage will not hinder the neighboring property. Currently this area is paved and used as road way as well. Curb and gutter will be put in that will not allow vehicle traffic between the two areas as is currently the case. Since this is a roadway and not a structure if in the future utilities or some other service needs be brought through this area the road can be torn up and replaced.
2. Maximum building height exceeds the allowed 35-feet. The structure height is 45-feet as designed. This allows for 9' ceiling heights on all floors of the units which will give a much nicer finished product helping to ensure long term success of the project and if it is successful it will continue to be a well-maintained building long term. It also allows for a slightly steeper pitch on the main roof at 5/12 which then helps tie the aesthetic of 8/12 on the lookouts.
3. Maximum accessory structure size allowed is 30% of the principal structure. The private garages and trash enclosure total approximately 38.6% of the size of the principal structure. Having additional garages gives more opportunity for people to store vehicles inside in the winter as well as if they move from a house to the apartment, they can have some extra room to store items as they downsize. It is also possible being near the golf course that some residents may have a golf cart and need a place to park that inside. We have located these to create some buffer to the main building and away from the housing below the hill.

I hope this clarifies the issues at hand and is acceptable as designed. If you have any further questions please let me know.

Sincerely,



Michael Gohman
President
Clearwater Development Inc.

From: Ryan Pridgeon <clearwaterfirechief@gmail.com>
Sent: Wednesday, December 4, 2019 11:41 AM
To: Justin Kannas <Justin.Kannas@bolton-menk.com>
Cc: Deb Petty <DPetty@clearwatercity.com>; Kevin Shay <KShay@landform.net>; Liz Lindrud <LLindrud@clearwatercity.com>
Subject: Re: CDI Apartments

Justin,

I don't have any issues with the overall height of the building. The Fire Department would not need to buy any special equipment based on the height of the building. I have a question on the width of the access road around the apartment building. Our Engine 11 is very long and if the access road around the building is too narrow we would have an issue getting to the back of the building.

FW: Clearwater Apartment

Mike Gohman <mike@wgohman.com>

Thu 12/26/2019 11:12 AM

To: Justin Kannas <Justin.Kannas@bolton-menk.com>

Cc: Deb Petty <DPetty@clearwatercity.com>; April Jacques <aprilj@wgohman.com>; Mike Hentges <mhentges@wgohman.com>

📎 1 attachments (2 MB)

12-26-19 1911 SITE PLAN.pdf;

Justin,

Attached is a site plan showing the truck dimensions and the path around the corners. Looks like everything works just fine.

If you have any other questions please let me know.

Thanks,

Michael Gohman



Creative
Custom Builders LLC

PHONE 320-363-7781

CELL 320-248-0718

FAX 320-363-7207

EMAIL mike@wgohman.com

From: Graeme Mahler <gmahler@Mahlerarchitecture.com>

Sent: Thursday, December 26, 2019 10:30 AM

To: Mike Gohman <mike@wgohman.com>; Brian Schultz <schultzeng@live.com>

Cc: Mike Hentges <mhentges@wgohman.com>; April Jacques <aprilj@wgohman.com>

Subject: RE: Clearwater Apartment

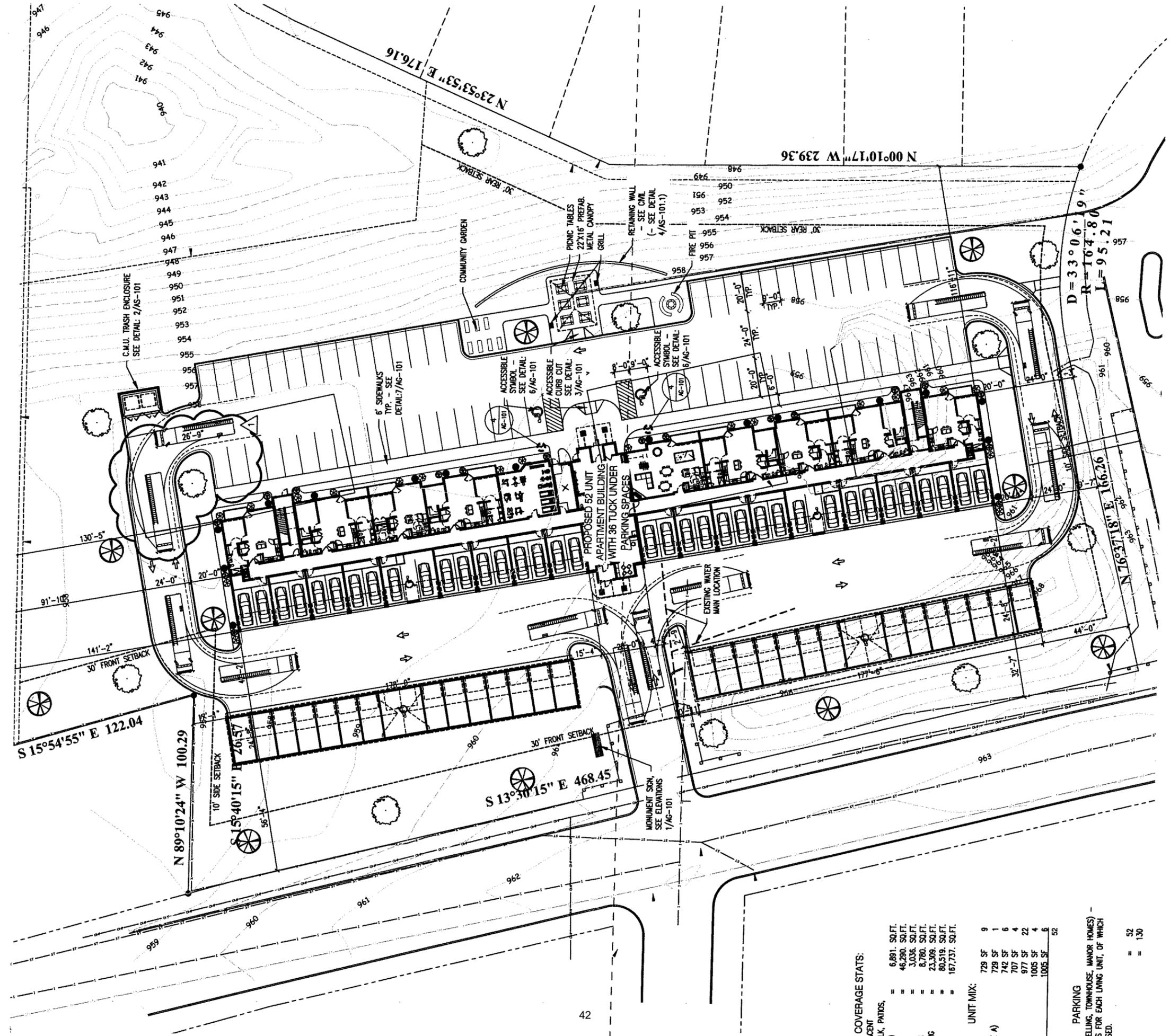
Here is a site plan with the Fire Dept dimensions/turning radius for a Ladder Truck (same as the Fire Chief gave us).

The truck clears, with ease, all drives around the perimeter of the building, as currently designed.

The drive aisles are wider than many of the local city streets.

Respectfully,

Graeme Mahler, AIA
Principal



COVERAGE STATS:

AGENT	6,891 SQ. FT.
WALK, PATIOS,	48,290 SQ. FT.
LANDSCAPE	3,036 SQ. FT.
SEASONS	8,780 SQ. FT.
NO	23,309 SQ. FT.
	80,519 SQ. FT.
	167,737 SQ. FT.

UNIT MIX:

E A)	729 SF	9
	729 SF	1
	742 SF	6
	707 SF	4
	977 SF	22
	1005 SF	4
	1082 SF	6
		52

PARKING
 SELLING, TOWNHOUSE, MANOR HOMES)
 ES FOR EACH LIVING UNIT, OF WHICH
 USED.

= 52
 = 130

SEC. 117-1130

- (b) (2) types and species of new trees.
- All tree species shall be indigenous to the appropriate hardiness zone and physical characteristics of the site.
 - To the extent possible, native drought-resistant trees shall be utilized.
1. number of trees, the minimum number of overstory trees on any given site shall be as follows:
- multiple-family uses, apartment dwelling structures shall contain as a minimum: one tree per dwelling unit for the first ten units and one tree per five dwelling units thereafter.
 - substitutions, an equivalent of up to 50 percent of the required number of overstory trees may be substituted with the use of shrubs in combination with other landscape design elements, in such case, not less than two shrubs shall be provided for each one required overstory tree substituted

LANDSCAPING SCHEDULE					
DECIDUOUS TREES					
SYMBOL	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
	11	AUTUMN BLAZE MAPLE	ACER FREEMANI 'AUTUMN BLAZE'	2.5" B&B	STRAIGHT TRUNK NO V-CROTCH
CONIFEROUS TREES					
	10	BLACK HILLS SPRUCE	PICEA GLAUCA DENSATA	6" HT.	FULL FORM TO GRADE
SHRUBS					
	19	JAPANESE WHITE SPIREA	SPIREA ALBIFLORA	18" HT. CONT.	MIN. 5 CANES AT HT. SPEC.
	17	NORMAN SPIREA	SPIREA JAPONICA 'NORMAN'	18" HT. CONT.	MIN. 5 CANES AT HT. SPEC.
	16	GOLDFLAME SPIREA	SPIREA X BUNALDII 'GOLDFLAME'	18" HT. CONT.	MIN. 5 CANES AT HT. SPEC.

NOTE: FOR PLANTING DETAIL - SEE 2&3/AS-101.1

LANDSCAPE LEGEND	
	LANDSCAPE AREA W/WOOD MULCH GROUND COVER & AUTOMATIC IRRIGATION SYSTEM
	GRASS (SOD) W/ AUTOMATIC IRRIGATION SYSTEM
	CONCRETE PAV/CURB/SIDEWALK/PATIO
	ASPHALT PAVING/DRIVE

LANDSCAPED OPEN SPACE: 80,519 SF
 SITE SF: 167,737 SF
 LANDSCAPED SF: 167,737 SF
 PERCENT OF SITE LANDSCAPED: 48.0%

NUMBER OF TREES REQUIRED: 19
 NUMBER OF TREES PROVIDED: 20

LANDSCAPE NOTES:

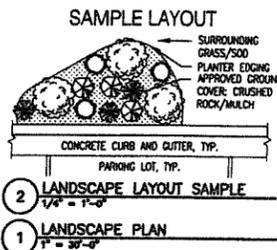
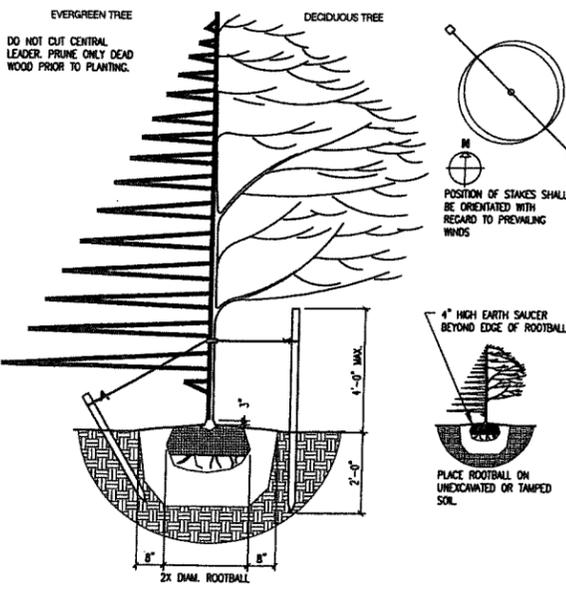
TREES SHALL BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOTBALL. TREES WHERE THE TRUNK FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOTBALL WITH SOIL.

WRAP ENTIRE SURFACE OF TRUNK TO SECOND BRANCH WITH APPROVED TREE WRAP (FROM NOV. 1ST. TO MAY 1ST ONLY). SECURE AT 2" INTERVALS. DO NOT WRAP POPULUS SPECIES. SUPPORT WIRE TO BE GALVANIZED. ATTACH TO TREE WITH 2" CLOTH BAND OR APPROVED EQUAL.

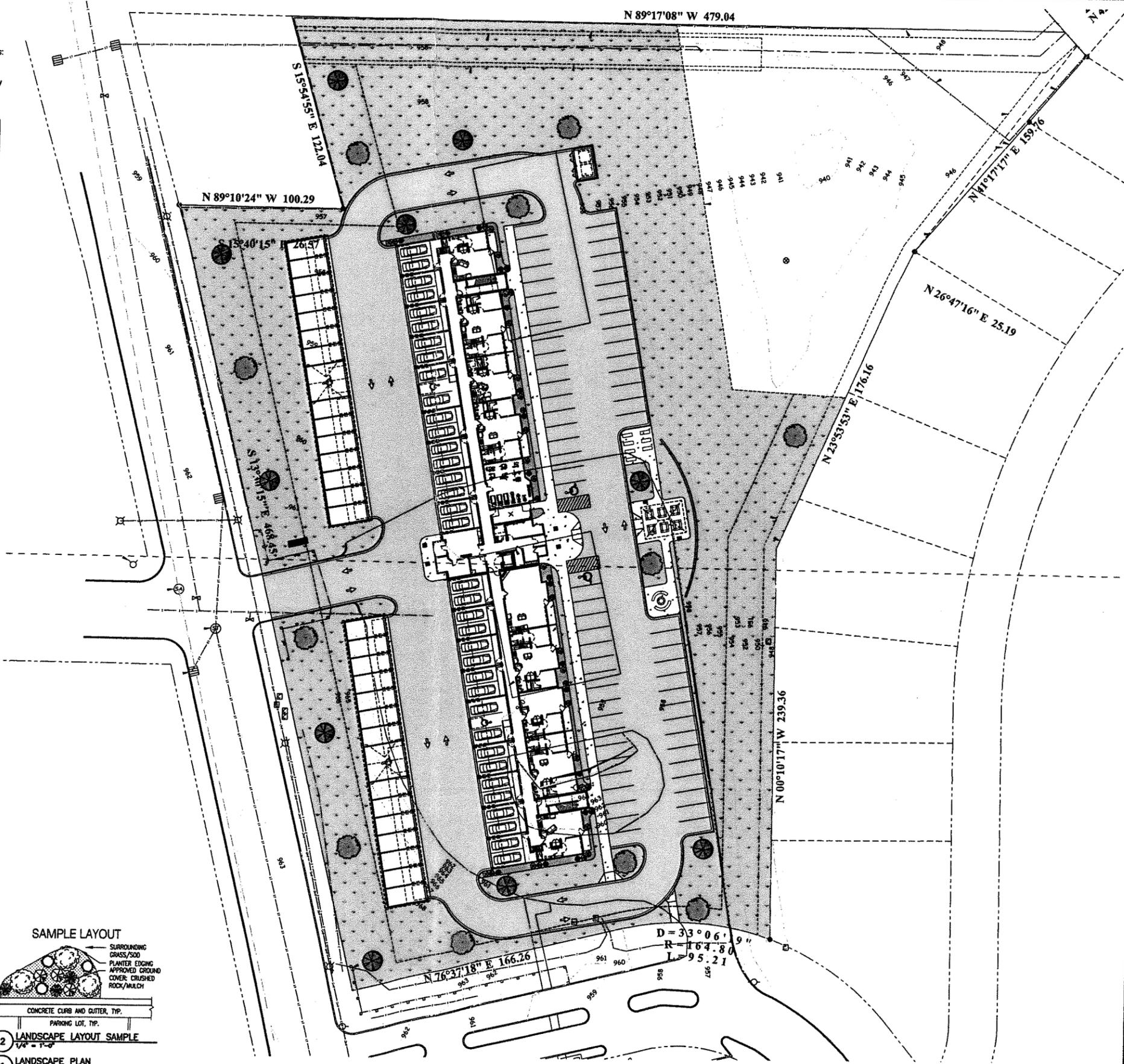
STAKE DECIDUOUS TREES AS SHOWN WITH 2"-6" LONG STEEL OR PEELLED POLE STAKES STAKED AT 180°. EXTEND STAKES 24" -30" INTO GROUND STAKE EVERGREENS AS SHOWN WITH 3"-2" LONG STEEL STAKES AT 120°. USE ONLY GALVANIZED WIRE.

REMOVE ALL WIRE BASKETS, NYLON TIES, TWINE, ROPE, AND BURLAP FROM TOP AND SIDES OF ROOTBALL. REMOVE UNNECESSARY PACKING MATERIAL.

2'-0" RADIUS MULCH COLLAR ONLY AT SINGLE TREE LOCATIONS (WHICH TREES ARE PLANTED IN SOD OUTSIDE OF PLANTING AREAS). DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK.



2 LANDSCAPE LAYOUT SAMPLE
 1/4" = 1'-0"
 1 LANDSCAPE PLAN
 1" = 30'-0"



MAHLER & ASSOCIATES
 ARCHITECTURE

328 N. 33RD AVE. SUITE 107
 ST. CLOUD, MN 56301

TEL: (855) 267-2724
 FAX: (855) 267-2728

Gracene H.O. Mahler, AIA
 Principal

PRELIMINARY
 NOT FOR
 CONSTRUCTION

No.	Revision/Issue	Date

Project Name and Address
CLEARWATER ESTATES
 COUNTY ROAD 7
 CLEARWATER, MN 56320

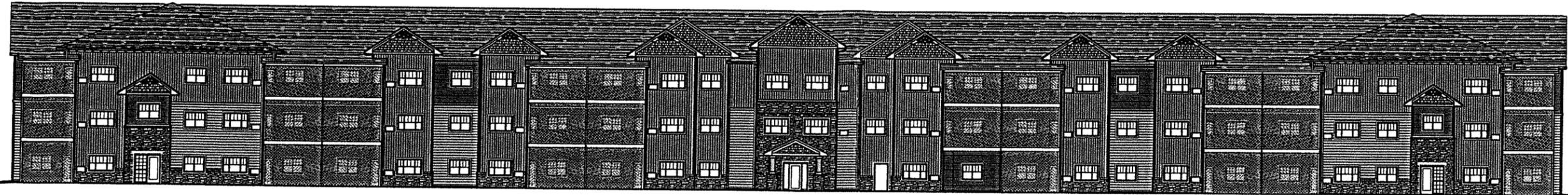
CLIENT'S NAME
 000-000-0000

Project No. 1911
 Date 09/03/2019
 Status AS INDICATED

Sheet
 LANDSCAPE PLAN

AS-101.1

CLEARWATER ESTATES



PROJECT DIRECTORY

OWNER	CONTRACTOR	ARCHITECT	CIVIL ENGINEER	STRUCTURAL ENGINEER	MECHANICAL & PLUMBING ENGINEER	ELECTRICAL ENGINEER
	W. GOHMAN CONSTRUCTION CO. MIKE GOHMAN 815 CO. RD. 75 EAST ST. JOSEPH, MN 56374 PH: (320) 363-7781 FX: (320) 363-7207	MAHLER & ASSOCIATES ARCHITECTURE GRAEME H.D. MAHLER 325 33RD AVE. N. SUITE 107 ST. CLOUD, MN 56303 PH: (320) 257-2724 FX: (320) 257-2725	SCHULTZ ENGINEERING & SITE DESIGN, PLLC BRIAN SCHULTZ 18 SOUTH RIVERSIDE AVE. SUITE 230 SARTELL, MN 56377 PH: (320) 339-0669	SANDMAN STRUCTURAL ENGINEERS NATHAN BENSON, PE 1587 30TH AVE. S. MOORHEAD, MN 56560 PH: (218) 227-0022	TO BE ACCOMPLISHED DESIGN-BUILD BY THE G.C. DELAYED SUBMITTAL	TO BE ACCOMPLISHED DESIGN-BUILD BY THE G.C. DELAYED SUBMITTAL

CODE ANALYSIS

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S201A	SECOND FLOOR FRAMING PLAN	A-102.2	SECOND FLOOR PLAN	A-402	ADA DETAILS
S201B	SECOND FLOOR FRAMING PLAN	A-103	OVERALL THIRD FLOOR PLAN	A-501.1	KITCHEN PLANS
S202A	THIRD FLOOR FRAMING PLAN	A-103.1	THIRD FLOOR PLAN	A-501.2	KITCHEN PLANS & ELEVATIONS
S202B	THIRD FLOOR FRAMING PLAN	A-103.2	THIRD FLOOR PLAN	G-101	GARAGE PLAN
S203A	ROOF FRAMING PLAN	A-104	ROOF PLAN		
S203B	ROOF FRAMING PLAN	A-105.1	UNIT PLANS		
		A-105.2	UNIT PLANS		
		A-105.3	UNIT PLANS		

VICINITY MAP



MAHLER & ASSOCIATES
ARCHITECTURE

325 N. 33RD AVE. SUITE 107
ST. CLOUD, MN 56303

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GRAEME H.D. MAHLER, AIA
Principal



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NOT FOR
CONSTRUCTION

No.	Revision/Issue	Date

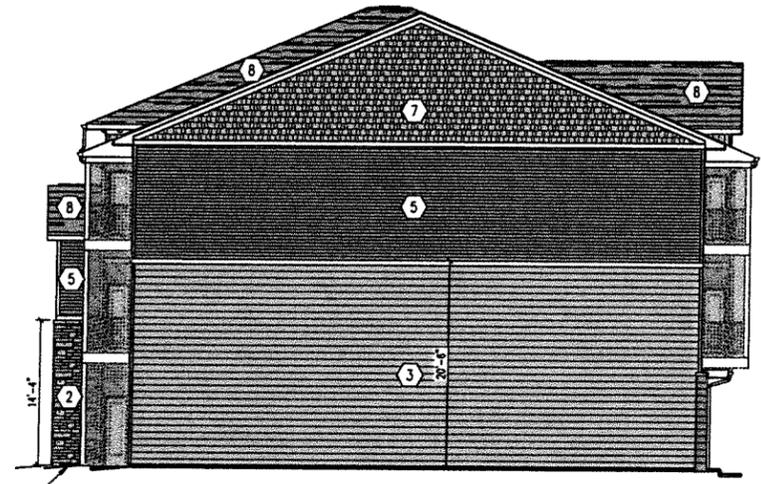
Project Name and Address
CLEARWATER ESTATES
COUNTY ROAD 7
CLEARWATER, MN 55320

CLIENT'S NAME
000-000-0000

Project No. 1911
Date 09/03/2019
Status AS INDICATED

COVER SHEET

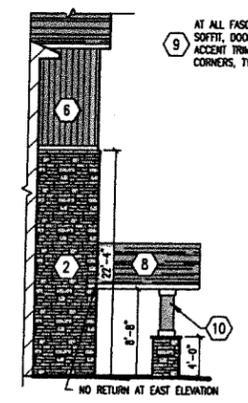
CS-101



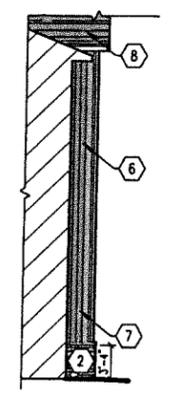
- HIGHEST ROOF PEAK
ELEV = ±145'-0"
- MEAN ROOF HEIGHT
ELEV = ±138'-8"
- TRUSS BEARING HEIGHT
ELEV = SEE A-301,302,303
TOP OF VINYL WINDOWS
ELEV = 6'-7 1/4" ABOVE F.F.
- 3RD F.F. (TOP-CRTE)
ELEV = SEE A-301,302,303
- TOP OF VINYL WINDOWS
ELEV = 6'-7 1/4" ABOVE F.F.
- 2ND F.F. (TOP-CRTE)
ELEV = SEE A-301,302,303
- TOP OF VINYL WINDOWS
ELEV = 6'-8" ABOVE F.F.
- 1ST F.F. (CONC. FLOOR)
ELEV = SEE A-301,302,303
BOT OF GARAGE DOOR
ELEV = 59'-4"

SPLASH BLOCKS AT DAYLIGHTED DOWNSPOUTS

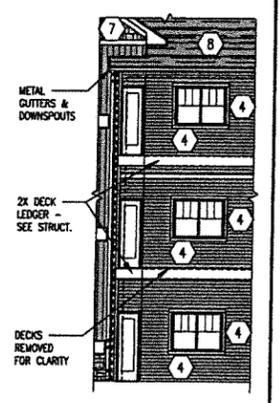
9 AT ALL FASCIA, SOFFIT, DOOR & ACCENT TRIM, CORNERS, TYP.
 NOTE: SEE ROOF PLAN FOR GUTTER LOCATIONS
 1 NORTH & SOUTH ELEVATION
 1/8" = 1'-0"



4 ENTRY MATERIALS
1/8" = 1'-0"



3 POP-OUT MATERIALS
1/8" = 1'-0"



2 DECK MATERIALS
1/8" = 1'-0"

	MATERIAL: INTEGRALLY COLORED C.M.U. FINISH: ROCKFACE COLOR: - MANUF: -		MATERIAL: CULTURED STONE FINISH: ANCIENT VILLA LEDGESTONE COLOR: - MANUF: -		MATERIAL: PRE-FINISHED 6" STEEL LAP SIDING FINISH: WOOD GRAIN COLOR: - MANUF: -		MATERIAL: PRE-FINISHED 4" STEEL DBL-LAP SIDING FINISH: WOOD GRAIN COLOR: - MANUF: -		MATERIAL: PRE-FINISHED 4" STEEL DBL-LAP SIDING FINISH: WOOD GRAIN COLOR: - MANUF: -		MATERIAL: PRE-FINISHED VERTICAL STEEL SIDING FINISH: WOOD GRAIN COLOR: - MANUF: -		MATERIAL: PRE-FINISHED SPLIT SHAKE FINISH: SPLIT SHAKE COLOR: - MANUF: -		MATERIAL: LAMINATED SHINGLES FINISH: ARCHITECTURAL COLOR: - MANUF: -		MATERIAL: PRE-FINISHED PRE-FORMED STEEL TRIM SMOOTH FINISH: SMOOTH COLOR: - MANUF: -		MATERIAL: PRE-FINISHED PRE-FORMED STEEL TRIM SMOOTH FINISH: SMOOTH COLOR: - MANUF: -
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MATERIAL KEY
1/8" = 1'-0"

PRELIMINARY
 NOT FOR
 CONSTRUCTION

No.	Revision/Issue	Date

Project Name and Address
 CLEARWATER ESTATES
 COUNTY ROAD 7
 CLEARWATER, MN 56320
 CLIENT'S NAME
 000-000-0000

Project No. 1911
 Date 08/03/2019
 Sheet NORTH & SOUTH EXTERIOR ELEVATION
 AS INDICATED
 A-201



1 WEST ELEVATION - A
1/8" = 1'-0"

- HIGHEST ROOF PEAK
ELEV = 2145'-0"
- MEAN ROOF HEIGHT
ELEV = 2138'-8"
- TRUSS BEARING HEIGHT
ELEV = SEE A-301,302,303
TOP OF VINYL WINDOWS
ELEV = 6'-7 1/4" ABOVE F.F.
- 3RD F.F. (CIP-CRTE)
ELEV = SEE A-301,302,303
- TOP OF VINYL WINDOWS
ELEV = 6'-7 1/4" ABOVE F.F.
- 2ND F.F. (CIP-CRTE)
ELEV = SEE A-301,302,303
- TOP OF GARAGE DOOR
ELEV = 106'-8" ABOVE 1ST F.F.
- 1ST F.F. (CONC. FLOOR)
ELEV = SEE A-301,302,303
BOT OF GARAGE DOOR
ELEV = 99'-4"

NOTE: SEE ROOF PLAN FOR GUTTER LOCATIONS

AT ALL FASCIAS, SOFFIT, DOOR & ACCENT TRIM CORNERS, TYP.



- HIGHEST ROOF PEAK
ELEV = 2145'-0"
- MEAN ROOF HEIGHT
ELEV = 2138'-8"
- TRUSS BEARING HEIGHT
ELEV = SEE A-301,302,303
TOP OF VINYL WINDOWS
ELEV = 6'-7 1/4" ABOVE F.F.
- 3RD F.F. (CIP-CRTE)
ELEV = SEE A-301,302,303
- TOP OF VINYL WINDOWS
ELEV = 6'-7 1/4" ABOVE F.F.
- 2ND F.F. (CIP-CRTE)
ELEV = SEE A-301,302,303
- TOP OF GARAGE DOOR
ELEV = 106'-8" ABOVE 1ST F.F.
- 1ST F.F. (CONC. FLOOR)
ELEV = SEE A-301,302,303
BOT OF GARAGE DOOR
ELEV = 99'-4"

AT ALL FASCIAS, SOFFIT, DOOR & ACCENT TRIM CORNERS, TYP.

NOTE: SEE ROOF PLAN FOR GUTTER LOCATIONS

2 WEST ELEVATION - B
1/8" = 1'-0"

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Greene H.D. Mahler, AIA
Principal

PRELIMINARY
NOT FOR
CONSTRUCTION

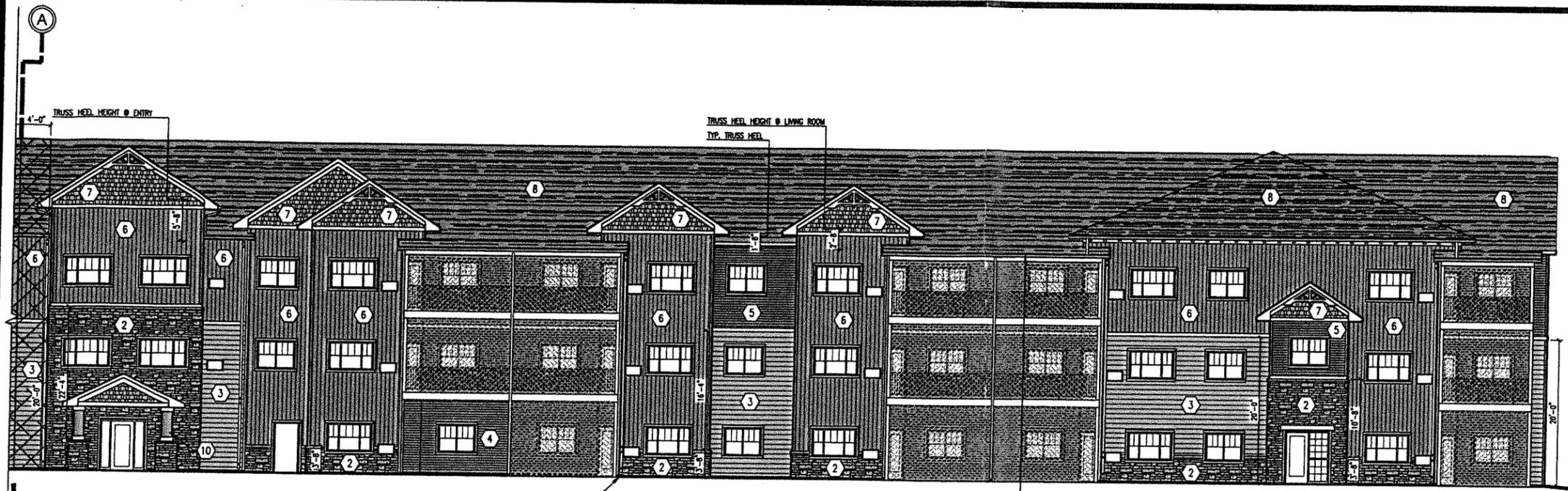
No.	Revision/Issue	Date

Project Name and Address
CLEARWATER ESTATES
COUNTY ROAD 7
CLEARWATER, MN 55320

CLIENT'S NAME
000-000-0000

Project No. 1911
Date 09/03/2019
Scale AS INDICATED

Sheet WEST EXTERIOR ELEVATION
A-202



- HIGHEST ROOF PEAK
ELEV = 2145'-0"
- MEAN ROOF HEIGHT
ELEV = 2136'-8"
- TRUSS BEARING HEIGHT
ELEV = SEE A-301,302,303
TOP OF VINYL WINDOWS
ELEV = 6'-7 1/4" ABOVE F.F.
- 3RD F.F. (GYP-CRTE)
ELEV = SEE A-301,302,303
- TOP OF VINYL WINDOWS
ELEV = 6'-7 1/4" ABOVE F.F.
- 2ND F.F. (GYP-CRTE)
ELEV = SEE A-301,302,303
- TOP OF VINYL WINDOWS
ELEV = 6'-8" ABOVE F.F.
- 1ST F.F. (CONC. FLOOR)
ELEV = SEE A-301,302,303

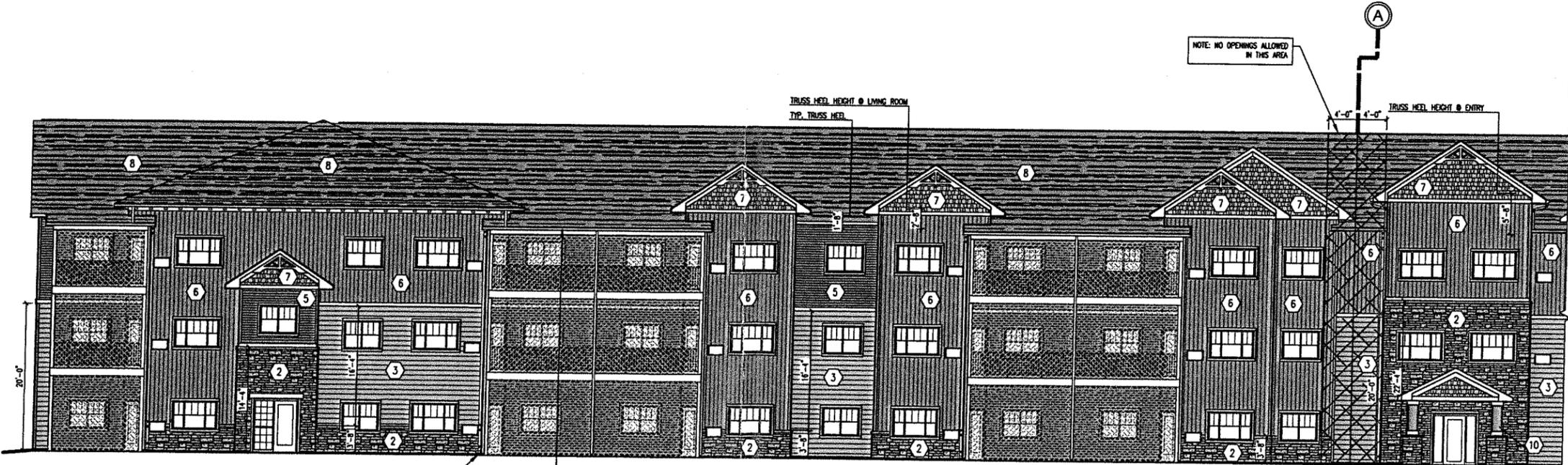
SPLASH BLOCKS AT DAYLIGHTED DOWNPOUTS

METAL GUTTERS & DOWNSPOUTS

NOTE: SEE ROOF PLAN FOR CUTTER LOCATIONS

9 AT ALL FASCIA, SOFFIT, DOOR & ACCENT TRIM CORNERS, TYP.

1 EAST ELEVATION - A
1/8" = 1'-0"



NOTE: NO OPENINGS ALLOWED IN THIS AREA

- HIGHEST ROOF PEAK
ELEV = 2145'-0"
- MEAN ROOF HEIGHT
ELEV = 2136'-8"
- TRUSS BEARING HEIGHT
ELEV = SEE A-301,302,303
TOP OF VINYL WINDOWS
ELEV = 6'-7 1/4" ABOVE F.F.
- 3RD F.F. (GYP-CRTE)
ELEV = SEE A-301,302,303
- TOP OF VINYL WINDOWS
ELEV = 6'-7 1/4" ABOVE F.F.
- 2ND F.F. (GYP-CRTE)
ELEV = SEE A-301,302,303
- TOP OF VINYL WINDOWS
ELEV = 6'-8" ABOVE F.F.
- 1ST F.F. (CONC. FLOOR)
ELEV = SEE A-301,302,303

SPLASH BLOCKS AT DAYLIGHTED DOWNPOUTS

METAL GUTTERS & DOWNSPOUTS

9 AT ALL FASCIA, SOFFIT, DOOR & ACCENT TRIM CORNERS, TYP.

NOTE: SEE ROOF PLAN FOR CUTTER LOCATIONS

2 EAST ELEVATION - B
1/8" = 1'-0"

MAHLER & ASSOCIATES
ARCHITECTURE

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Grange H.D. Mahler, AIA
Principal

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PRELIMINARY
NOT FOR
CONSTRUCTION

No.	Revision/Issue	Date

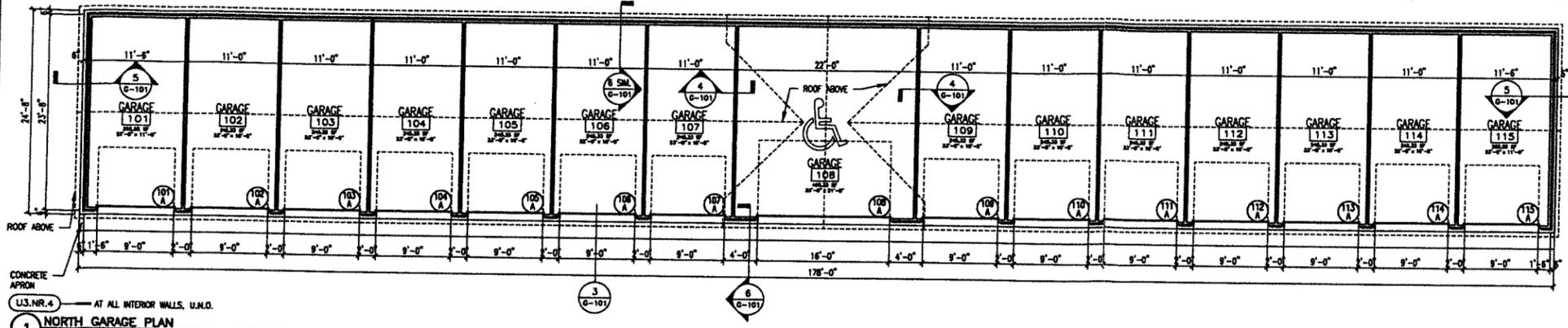
Project Name and Address
CLEARWATER ESTATES
COUNTY ROAD 7
CLEARWATER, MN 55320

CLIENT'S NAME
000-000-0000

Project No. 1911
Date 09/03/2019
Scale AS INDICATED

Sheet EAST EXTERIOR ELEVATION

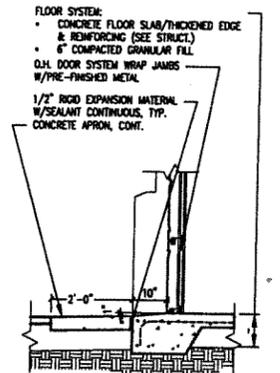
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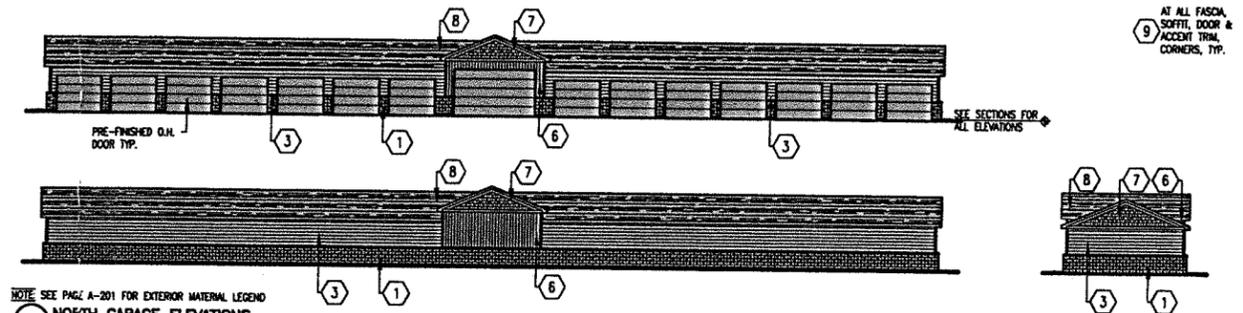
1 NORTH GARAGE PLAN
1/4" = 1'-0"

GARAGE DOOR AND FRAME SCHEDULE									
MARK	DOOR		FRAME		FIRE RATING LABEL	HARDWARE SET NO.	NOTES		
	SIZE	MATL	MATL	GLAZING					
101A	8'-0"	7'-0"	PRE-FIN. STEEL	---	O.H. TRACK BY MANUF.	---	GH1		
102A	8'-0"	7'-0"	PRE-FIN. STEEL	---	O.H. TRACK BY MANUF.	---	GH1		
103A	8'-0"	7'-0"	PRE-FIN. STEEL	---	O.H. TRACK BY MANUF.	---	GH1		
104A	8'-0"	7'-0"	PRE-FIN. STEEL	---	O.H. TRACK BY MANUF.	---	GH1		
105A	8'-0"	7'-0"	PRE-FIN. STEEL	---	O.H. TRACK BY MANUF.	---	GH1		
106A	8'-0"	7'-0"	PRE-FIN. STEEL	---	O.H. TRACK BY MANUF.	---	GH1		
107A	8'-0"	7'-0"	PRE-FIN. STEEL	---	O.H. TRACK BY MANUF.	---	GH1		
108A	16'-0"	8'-0"	PRE-FIN. STEEL	---	O.H. TRACK BY MANUF.	---	GH1		
109A	8'-0"	7'-0"	PRE-FIN. STEEL	---	O.H. TRACK BY MANUF.	---	GH1		
110A	8'-0"	7'-0"	PRE-FIN. STEEL	---	O.H. TRACK BY MANUF.	---	GH1		
111A	8'-0"	7'-0"	PRE-FIN. STEEL	---	O.H. TRACK BY MANUF.	---	GH1		
112A	8'-0"	7'-0"	PRE-FIN. STEEL	---	O.H. TRACK BY MANUF.	---	GH1		
113A	8'-0"	7'-0"	PRE-FIN. STEEL	---	O.H. TRACK BY MANUF.	---	GH1		
114A	8'-0"	7'-0"	PRE-FIN. STEEL	---	O.H. TRACK BY MANUF.	---	GH1		
115A	8'-0"	7'-0"	PRE-FIN. STEEL	---	O.H. TRACK BY MANUF.	---	GH1		

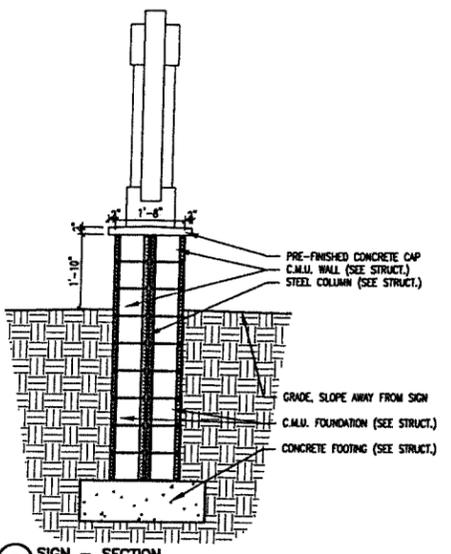
GH1: MANUFACTURER'S HEAVY DUTY OVERHEAD DOOR SYSTEM, 2 REMOTES PER OPENER, WEATHER STRIPPING ALL EDGES, SILL CASKET



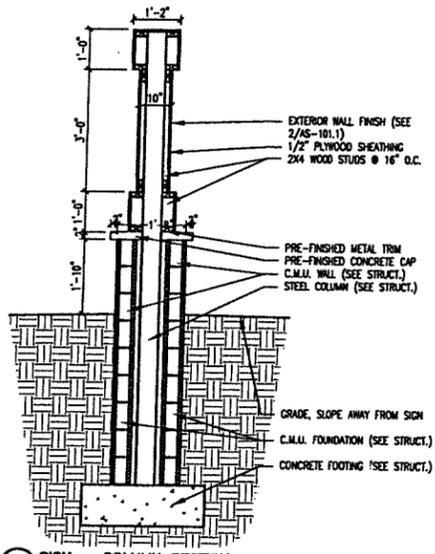
3 NORTH GARAGE - O.H. DOOR SILL
1/2" = 1'-0"



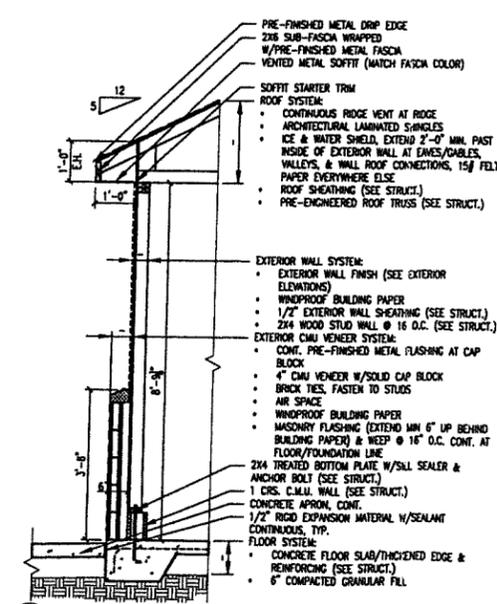
2 NORTH GARAGE ELEVATIONS
1/4" = 1'-0"



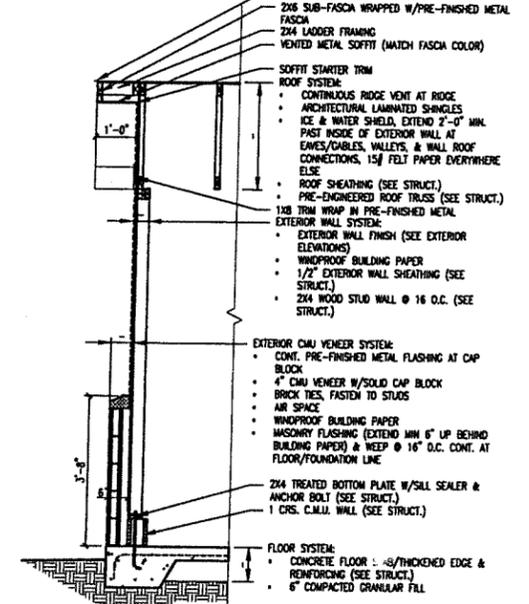
8 SIGN - SECTION
1/2" = 1'-0"



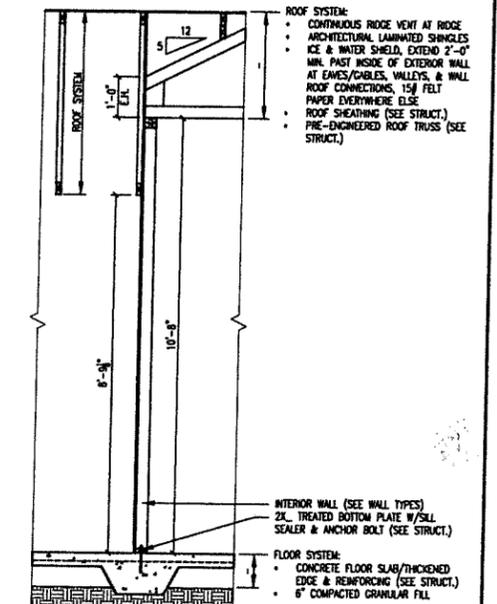
7 SIGN - COLUMN SECTION
1/2" = 1'-0"



6 NORTH GARAGE - EXTERIOR BRG. EAVE WALL
1/2" = 1'-0"



5 NORTH GARAGE - EXTERIOR GABLE END WALL
1/2" = 1'-0"



4 GARAGE - INTERIOR BRG. WALL
1/2" = 1'-0"

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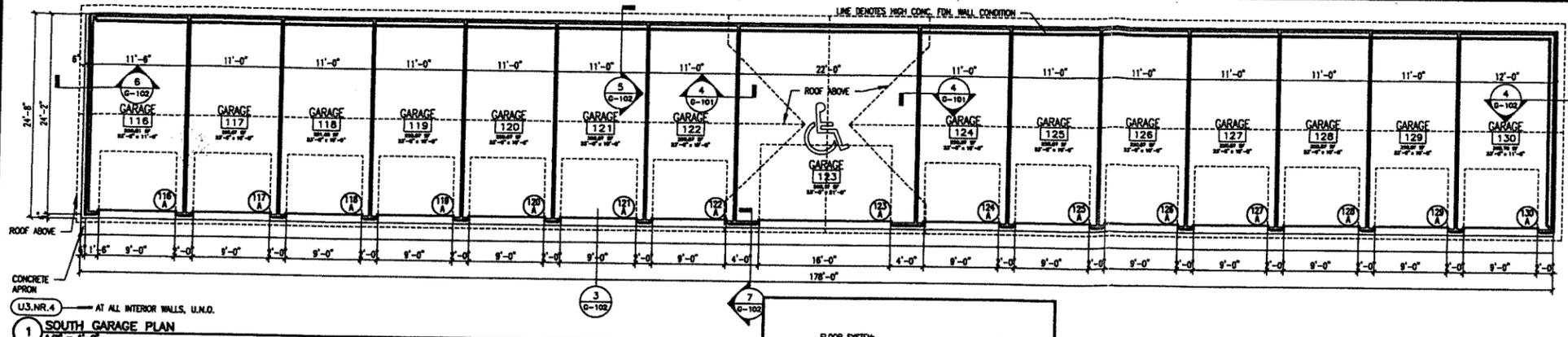
PRELIMINARY
NOT FOR
CONSTRUCTION

No.	Revision/Issue	Date

PROJECT NAME AND ADDRESS
CLEARWATER ESTATES
COUNTY ROAD 7
CLEARWATER, MN 55320

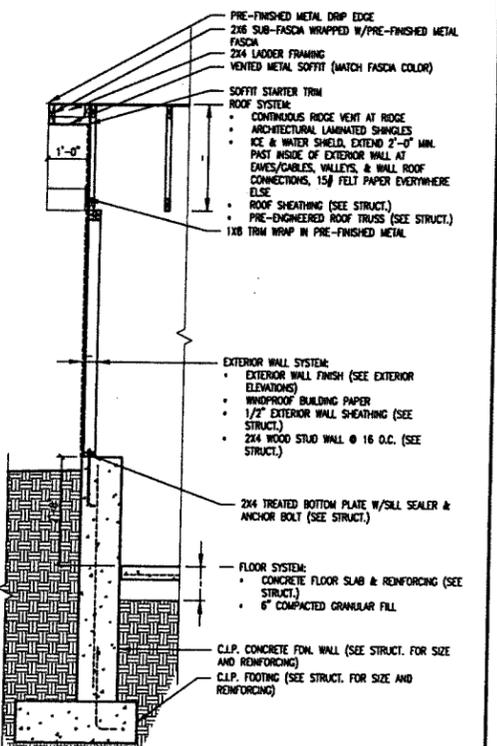
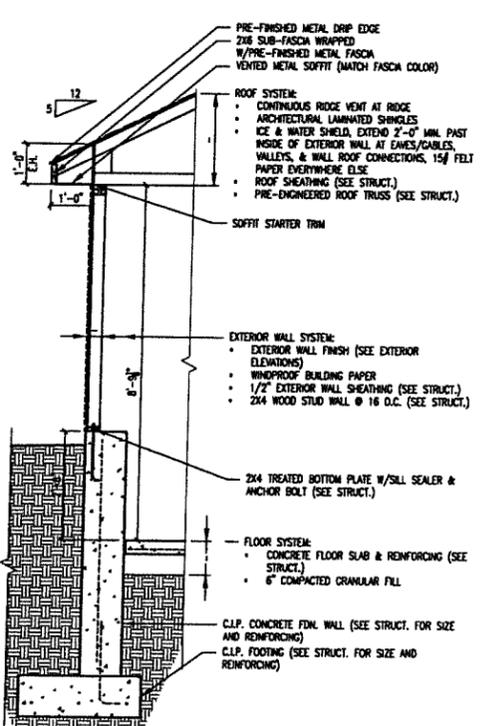
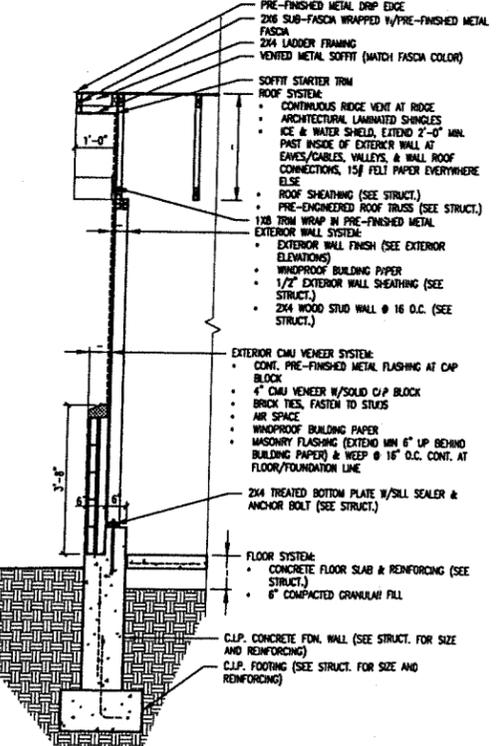
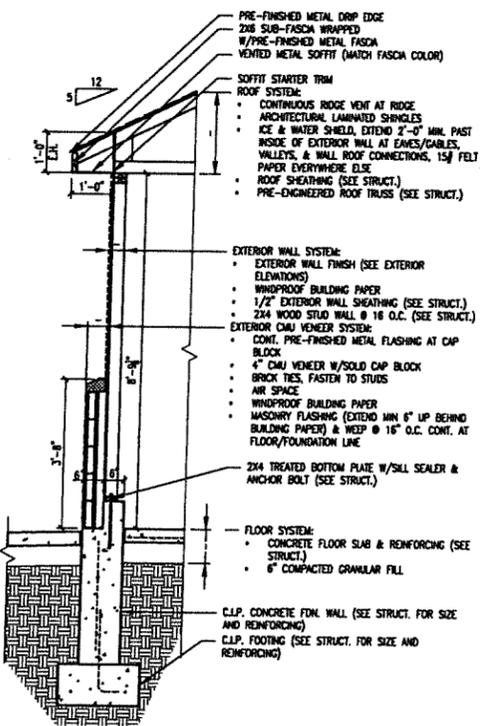
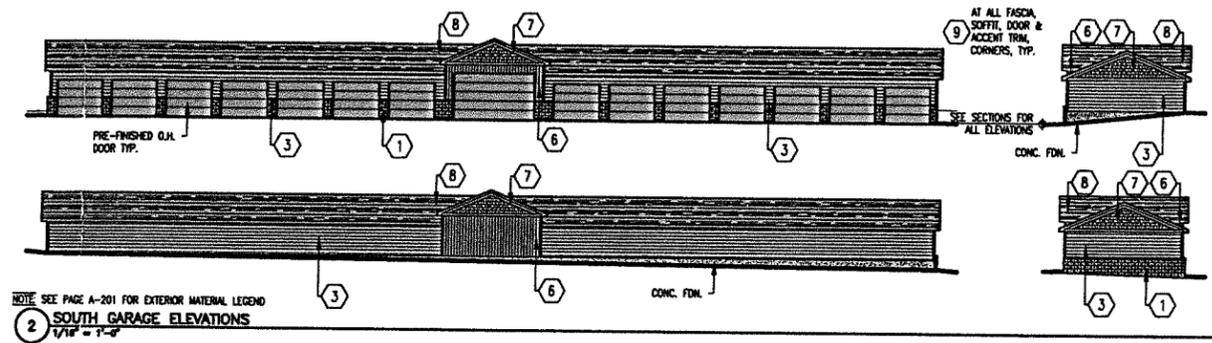
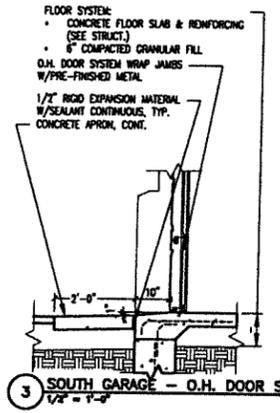
CLIENT'S NAME
000-000-0000

1911
Date: 09/02/2019
AS INDICATED
NORTH GARAGE
G-101



GARAGE DOOR AND FRAME SCHEDULE									
MARK	DOOR		GLAZING	FRAME		FIRE RATING LABEL	HARDWARE	NOTES	
	SIZE	MATL		MATL	SET NO.				
116A	8'-0"	7'-0"	PRE-FIN. STEEL	---	O.H. TRACK BY MANUF.	---	GH1	---	
117A	8'-0"	7'-0"	PRE-FIN. STEEL	---	O.H. TRACK BY MANUF.	---	GH1	---	
118A	8'-0"	7'-0"	PRE-FIN. STEEL	---	O.H. TRACK BY MANUF.	---	GH1	---	
119A	8'-0"	7'-0"	PRE-FIN. STEEL	---	O.H. TRACK BY MANUF.	---	GH1	---	
120A	8'-0"	7'-0"	PRE-FIN. STEEL	---	O.H. TRACK BY MANUF.	---	GH1	---	
121A	8'-0"	7'-0"	PRE-FIN. STEEL	---	O.H. TRACK BY MANUF.	---	GH1	---	
122A	8'-0"	7'-0"	PRE-FIN. STEEL	---	O.H. TRACK BY MANUF.	---	GH1	---	
123A	11'-0"	7'-0"	PRE-FIN. STEEL	---	O.H. TRACK BY MANUF.	---	GH1	---	
124A	8'-0"	7'-0"	PRE-FIN. STEEL	---	O.H. TRACK BY MANUF.	---	GH1	---	
125A	8'-0"	7'-0"	PRE-FIN. STEEL	---	O.H. TRACK BY MANUF.	---	GH1	---	
126A	8'-0"	7'-0"	PRE-FIN. STEEL	---	O.H. TRACK BY MANUF.	---	GH1	---	
127A	8'-0"	7'-0"	PRE-FIN. STEEL	---	O.H. TRACK BY MANUF.	---	GH1	---	
128A	8'-0"	7'-0"	PRE-FIN. STEEL	---	O.H. TRACK BY MANUF.	---	GH1	---	
129A	8'-0"	7'-0"	PRE-FIN. STEEL	---	O.H. TRACK BY MANUF.	---	GH1	---	
130A	8'-0"	7'-0"	PRE-FIN. STEEL	---	O.H. TRACK BY MANUF.	---	GH1	---	

GARAGE HARDWARE SET NUMBERS:
GH1: MANUFACTURER'S HEAVY DUTY OVERHEAD DOOR SYSTEM, 2 REMOTES PER OPENER, WEATHER STRIPPING ALL EDGES, SILL GASKET



MAHLER & ASSOCIATES
ARCHITECTURE

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PRELIMINARY
NOT FOR
CONSTRUCTION

No.	Revision/Issue	Date

Project Name and Address:
CLEARWATER ESTATES
COUNTY ROAD 7
CLEARWATER, MN 55320

CLIENT'S NAME:
000-000-0000

Project No.: 1911
Date: 09/03/2019
Scale: AS INDICATED

SOUTH GARAGE

G-102

**CITY OF CLEARWATER
WRIGHT AND STEARNS COUNTIES, MINNESOTA**

A regular meeting of the City Council of the City of Clearwater, Minnesota, was called to order by Mayor Lawrence at 7:00 p.m. in the Council Chambers at City Hall on Monday, January 13, 2020.

The following Council Members were present:

The following Council Members were absent:

A motion to adopt the following resolution was made by _____ and seconded by _____.

.....

**RESOLUTION 2020-06
RESOLUTION RECOMMENDING APPROVAL OF A PLANNED UNIT DEVELOPMENT AMENDMENT AND
SITE PLAN FOR A 52-UNIT APARTMENT BUILDING
(PID# 104019000010 AND 104020000020)**

WHEREAS, Gohman Construction (“the applicant”) has requested approval of a PUD amendment and site plan for a 52-unit apartment building and accessory garage structures on property legally described as follows:

Outlot A, Clearwater Estates and Outlot B, Clearwater Estates Plat Two according to the recorded plat thereof, Wright County, Minnesota

WHEREAS, Division 8, Sec. 117-578 of the Clearwater Zoning Ordinance does provide for said use; and

WHEREAS, notice of a public hearing to accept input on the PUD amendment request was published in the official newspaper on November 8, 2019 and also sent to property owners within 350 feet of the property; and

WHEREAS, the Planning Commission conducted a public hearing on the PUD amendment request on November 26, 2019 and accepted input on the PUD amendment request; and

WHEREAS, the City Council has reviewed the PUD amendment and site plan request and has made the following findings:

1. Compliance with and effect upon the comprehensive plan and public facilities plans.

The use complies with the Comprehensive Plan and public facilities plans.

2. The establishment, maintenance or operation of the use, event or activity will promote and enhance the general public welfare and will not be detrimental to or endanger the public health, safety or welfare.

The establishment of the use will promote and enhance the general public welfare and will not be detrimental to or endanger the public health safety or welfare. The new apartment building will provide a solution to the existing stormwater management issues with the development of the project site.

3. The use event, or activity will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted.

Provided the applicant revises the plans to provide the screening, the use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted.

4. The establishment of the use, event or activity will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

The establishment of the use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

5. Adequate public facilities and services are available or can be reasonably provided to accommodate the use, event or activity which is proposed.

Adequate public facilities and services can be reasonably provided to accommodate the use.

6. The use, event or activity shall, in all other respects, conform to the applicable regulations of the district in which it is located.

The use complies to the applicable regulations of the R-6 district aside from the requested flexibilities as part of the PUD. The R-6 district provides the applicable standards for the high-density residential use.

7. The use, event or activity and site conform to the performance standards as outlined in section 117-128 (conditional use permit, general performance standards) and all other applicable provisions of this chapter.

Provided the applicant makes the revisions provided in the staff report, the use will conform to the performance standards of Section 117-128 and all other applicable provisions of the site plan review chapter

8. The request complies with all other applicable sections of this Code.

The request complies with all other applicable sections of this code as discussed in the staff report.

WHEREAS, The City Council has extensively reviewed the applicable code, considered the findings as well as the comments, and input of the Applicants, the Property Owner, the neighboring residents and the general public.

NOW, THEREFORE, BE IT RESOLVED BY THE CLEARWATER CITY COUNCIL THAT; the City Council does hereby recommend the issuance of a PUD amendment and site plan for a 52-unit apartment building and accessory garage structures (PID# 104019000010 and 104020000020), subject to the following conditions:

1. A site plan is approved to allow a 52-unit apartment building and accessory garage structures in accordance with the application materials and plans received by the City on August 7, 2019 and additional materials received on September 30, 2019, October 14, 2019 and October 15, 2019, except as amended by this resolution;

2. In accordance with the application materials and plans received by the City on August 7, 2019 and additional materials received on September 30, 2019, October 14, 2019 and October 15, 2019, A PUD amendment is approved to allow;
 - a. A parking setback of 0 feet for the drive aisle adjacent to the southeast corner of PID 104037002050.
 - b. A parking setback of 6.5 feet for the drive aisle adjacent to the south lot line.
 - c. A maximum principal structure height of 45 feet for the apartment building.
 - d. A maximum accessory structure size of 39% of the principal structure size.
3. All comments from the City Engineer's memo dated November 19, 2019 shall be addressed.
4. A revised landscape plan which screens the east lot line. The screening shall be designed to provide complete visual screening to a minimum height of six feet. The green belt planting strip may contain large shrubs, evergreen trees and/or deciduous trees.
5. Lighting must not exceed ½ a foot candle when measured from the centerline of an adjacent street or adjacent property line.

Council members voting in favor:
 Opposed or Abstained:

Adopted by the City Council this 13th day of January, 2020.

ATTEST: _____ APPROVED BY: _____
 Annita M. Smythe, City Administrator Andrea Lawrence, Mayor

**CITY OF CLEARWATER
WRIGHT AND STEARNS COUNTIES, MINNESOTA**

A regular meeting of the City Council of the City of Clearwater, Minnesota, was called to order by Mayor Lawrence at 7:00 p.m. in the Council Chambers at City Hall on Monday, January 13, 2020.

The following Council Members were present:

The following Council Members were absent:

A motion to adopt the following resolution was made by _____ and seconded by _____.

.....
RESOLUTION 2020-05

**RESOLUTION OF APPROVAL/DENIAL OF A FINAL PLAT FOR ONE NEW LOT AT (PID#
104019000010 AND 104020000020)**

WHEREAS, Gohman Construction (“the applicant”) has requested approval of a final plat for one new lot on property legally described as follows:

Outlot A, Clearwater Estates and Outlot B, Clearwater Estates Plat Two according to the recorded plat thereof, Wright County, Minnesota

WHEREAS, the City Council has reviewed the final plat request and has made the following findings:

1. The final plat conforms to the approved preliminary plat and any/all conditions for approval of the preliminary plat.

The final plat is consistent with the preliminary plat.

2. All submission requirements have been satisfied.

The submission requirements have been met.

3. The plat conforms to all applicable requirements of this chapter, subject only to approved rule exceptions.

The final plat meets all applicable requirements in the Subdivision Ordinance.

WHEREAS, The City Council has extensively reviewed the applicable code, considered the findings as well as the comments, and input of the Applicants, the Property Owner, the neighboring residents and the general public.

NOW, THEREFORE, BE IT RESOLVED BY THE CLEARWATER CITY COUNCIL

THAT; the Clearwater City Council does hereby recommend the issuance of a final plat for one new lot. (PID# 104019000010 and 104020000020), subject to the following conditions:

1. Prior to release of the final plat for recording;
 - a. A site improvement performance agreement (SIPA) must be completed and provided to the City.

- b. Park dedication shall be cash in lieu. The in lieu amount shall be based on the average fair market value of land, as determined by the city assessor and shall be computed on the buildable land area.
- 2. Record the approving resolutions, mylar, easements and all related documents at Wright County and provide proof of recording to the City.
- 3. The applicant must file the final plat at Wright County within two years of the date of approval or the approval shall expire.

Council members voting in favor:
Opposed or Abstained:

Adopted by the City Council this 13th day of January, 2020.

ATTEST:

APPROVED BY: _____

Annita M. Smythe, City Administrator

Andrea Lawrence, Mayor

**CITY OF CLEARWATER
WRIGHT AND STEARNS COUNTIES, MINNESOTA**

A regular meeting of the City Council of the City of Clearwater, Minnesota, was called to order by Mayor Lawrence at 7:00 p.m. in the Council Chambers at City Hall on Monday, January 13, 2020.

The following Council Members were present:

The following Council Members were absent:

A motion to adopt the following resolution was made by _____ and seconded by _____.

.....
RESOLUTION 2020-04

**RESOLUTION RECOMMENDING APPROVAL OF A PRELIMINARY PLAT TO CREATE ONE NEW LOT
FROM TWO EXISTING LOTS (PID# 104019000010 AND 104020000020)**

WHEREAS, Gohman Construction ("the applicant") has requested approval of a preliminary plat to create one new lot from two existing lots on property legally described as follows:

Outlot A, Clearwater Estates and Outlot B, Clearwater Estates Plat Two according to the recorded plat thereof, Wright County, Minnesota

WHEREAS, notice of a public hearing to accept input on the preliminary plat request was published in the official newspaper on November 8, 2019 and also sent to property owners within 350 feet of the property; and

WHEREAS, the Planning Commission conducted a public hearing on the preliminary plat request on November 26, 2019 and accepted input on the preliminary plat request; and

WHEREAS, the City Council has reviewed the preliminary plat request and has made the following findings:

1. The proposed preliminary plat conforms to the requirements of this chapter and the applicable zoning district regulations.

The preliminary plat conforms to the requirements of this chapter and the applicable zoning district regulations.

2. The proposed subdivision is consistent with the city's comprehensive plan and any other adopted land use studies and is compatible with the platting or approved preliminary plat on adjoining lands.

The proposed subdivision is consistent with the Comprehensive plan and is compatible with the future land use of the site.

3. The proposed plat does not constitute a premature subdivision under subsection 113-50(d)

The proposed plat is not a premature subdivision.

4. The physical characteristics of the site, including but not limited to topography, vegetation, wetlands, susceptibility to erosion and siltation, susceptibility to flooding, water storage and retention, are such that the site is suitable for the type of development or use contemplated.

The physical characteristics are suitable for the proposed apartment structure to be located on the property.

5. The design or improvement of the proposed subdivision complies with applicable plans of the county and the state.

The site is being combined and will be reviewed for compliance with the County and State requirements.

6. The design or improvement of the proposed subdivision is not likely to cause environmental damage or health problems.

The design and improvement of the site will not cause environmental or health problems.

7. The completion of the proposed development of the subdivision can be achieved in a timely manner so as not to cause an undue economic burden upon the city for maintenance, repayment of bonds or similar burden.

The development can be completed in a timely manner.

8. That permits applicable to the site/project as required by local, state and federal law have been applied for and/or have been approved. The applicant is required to prove compliance with all local, state and federal law. The city and/or its assigns may determine whether an application for approval is sufficient or if approval of a permit application is required.

All local, state and federal permits required have been applied for.

WHEREAS, The City Council has extensively reviewed the applicable code, considered the findings as well as the comments, and input of the Applicants, the Property Owner, the neighboring residents and the general public.

NOW, THEREFORE, BE IT RESOLVED BY THE CLEARWATER CITY COUNCIL THAT; the City Council does hereby recommend the issuance of a preliminary plat to create one lot where two lots exist. (PID# 104019000010 and 104020000020).

Council members voting in favor:

Opposed or Abstained:

Adopted by the City Council this 13th day of January, 2020.

ATTEST:

APPROVED BY: _____

Annita M. Smythe, City Administrator

Andrea Lawrence, Mayor

**CITY OF CLEARWATER
WRIGHT AND STEARNS COUNTIES, MINNESOTA**

A regular meeting of the City Council of the City of Clearwater, Minnesota, was called to order by Mayor Lawrence at 7:00 p.m. in the Council Chambers at City Hall on Monday, January 13, 2020.

The following Council Members were present:

The following Council Members were absent:

A motion to adopt the following resolution was made by _____ and seconded by _____.

.....

**RESOLUTION 2020-03
RESOLUTION RECOMMENDING APPROVAL OF FINDINGS OF FACT FOR REZONING FOR PID#
104019000010 AND 104020000020**

WHEREAS, Gohman Construction (“the applicant”) has requested approval of a rezoning on property legally described as follows:

Outlot A, Clearwater Estates and Outlot B, Clearwater Estates Plat Two according to the recorded plat thereof, Wright County, Minnesota

WHEREAS, notice of a public hearing to accept input on the rezoning request was published in the official newspaper on November 8, 2019 and also sent to property owners within 350 feet of the property; and

WHEREAS, the Planning Commission conducted a public hearing on the rezoning request on November 26, 2019 and accepted input on the rezoning request; and

WHEREAS, the City Council has reviewed the rezoning request and has made the following findings:

1. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the official City Comprehensive Plan.

The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the City’s Comprehensive Plan. The Comprehensive Plan identifies the need for diverse housing choices with a variety of price ranges. The proposed project will provide a housing type that is underrepresented in Clearwater’s existing housing stock.
2. The proposed use is or will be compatible with present and future land uses of the area.

The proposed use will be compatible with the future land use of the area. The land use map is currently guiding the land for park and open space. This was consistent with the golf club house that is currently occupying the property. The land was anticipated for further development with the initial PUD and the land use should be changed to reflect that.
3. The proposed use conforms to all performance standards contained in the City Zoning Ordinance.

The proposed use conforms to all performance standards contained within the code aside from the requested flexibility as part of the PUD.

4. The proposed use can be accommodated with existing public services and will not overburden the City's service capacity.

The proposed use can be accommodated with existing public services and will not overburden the City's service capacity. The City Engineer has reviewed the plans and has found that the existing public services will be sufficient for the development.

5. Traffic generated by the proposed use is within capabilities of streets serving the property.

Traffic generation by the proposed use is within capabilities of streets serving the property.

WHEREAS, The City Council has extensively reviewed the applicable code, considered the findings as well as the comments, and input of the Applicants, the Property Owner, the neighboring residents and the general public.

NOW, THEREFORE, BE IT RESOLVED BY THE CLEARWATER CITY COUNCIL THAT; the City Council does hereby recommend the issuance of a rezoning for (PID# 104019000010 and 104020000020).

Council members voting in favor:

Opposed or Abstained:

Adopted by the City Council this 13th day of January, 2020.

ATTEST:

APPROVED BY: _____

Annita M. Smythe, City Administrator

Andrea Lawrence, Mayor

**CITY OF CLEARWATER
WRIGHT AND STEARNS COUNTIES, MINNESOTA**

A regular meeting of the City Council of the City of Clearwater, Minnesota, was called to order by Mayor Lawrence at 7:00 p.m. in the Council Chambers at City Hall on Monday, January 13, 2020.

The following Council Members were present:

The following Council Members were absent:

A motion to adopt the following resolution was made by _____ and seconded by _____.



**RESOLUTION 2020-07
APPROVING ANNUAL APPOINTMENTS FOR 2020**

WHEREAS, the State Statutes of Minnesota requires that municipalities annually declare certain designations and appointments at its first meeting of the year; and

NOW THEREFORE, BE IT RESOLVED, that the Council of the City of Clearwater does hereby declare the following appointments for the calendar year of 2020:

Acting Mayor: Councilmember _____.

Fire Relief Association Ex-Officio Members: Mayor, Deputy Clerk, and Fire Chief.

Signature Card/Check Signers: Mayor, Acting Mayor, and Deputy Clerk.

Media Contact: Mayor Lawrence.

EDA: Currently no members has five vacant seats.

Parks: Councilmembers (currently Scott (liaison) and Petty.)

Planning & Zoning Commission: Councilmember (Currently Crandall). Need two additional members it may be beneficial to appoint two councilmembers.

Sewer Authority: Mayor Lawrence, and _____ currently Councilmember Petty resides.

Official Newspaper: Citizen Tribune.

Official Depositories: Lake Central Bank, American Heritage Bank, MidCountry Bank, Lake Central Investments, Multi-Bank Securities, US Bank, and 4M Fund.

Public Notice Designations: Clearwater City Hall.

Weed Inspector: Mayor Lawrence.

Assistant Weed Inspector: Public Works Supervisor.

Council members voting in favor:

Opposed or Abstained:

Adopted by the City Council this 13th day of January, 2020.

ATTEST:

APPROVED BY:

Annita M. Smythe, City Administrator

Andrea Lawrence, Mayor

**CITY OF CLEARWATER
WRIGHT AND STEARNS COUNTIES, MINNESOTA**

A regular meeting of the City Council of the City of Clearwater, Minnesota, was called to order by Mayor Lawrence at 7:00 p.m. in the Council Chambers at City Hall on Monday, January 13, 2020.

The following Council Members were present:

The following Council Members were absent:

A motion to adopt the following resolution was made by _____ and seconded by _____.

.....

**RESOLUTION 2020-08
APPROVING STAFF SALARIES FOR 2020**

WHEREAS, the City Council adopted a budget for 2020 that included a COLA salary increase of 3% for all Full Time and Permanent Part Time city staff; and

WHEREAS, the COLA increase is effective January 1, 2020.

NOW THEREFORE, BE IT RESOLVED, that the City Council of the City of Clearwater, Minnesota, hereby approves a salary increase of 3% effective January 1, 2020 for all regular (non-seasonal) full-time and permanent part-time staff, except for those currently in their first year of hire or filling an interim position. Salaries for new hires and those holding an interim position shall be as indicated in their hiring agreements.

BE IT FURTHER RESOLVED that the City’s official salary step-scale shall be adjusted to reflect this COLA increase.

Council members voting in favor:

Opposed or Abstained:

Adopted by the City Council this 13th day of January, 2020.

ATTEST:

APPROVED BY:

Annita M. Smythe, City Administrator

Andrea Lawrence, Mayor

**CITY OF CLEARWATER
WRIGHT AND STEARNS COUNTIES, MINNESOTA**

A regular meeting of the City Council of the City of Clearwater, Minnesota, was called to order by Mayor Lawrence at 7:00 p.m. in the Council Chambers at City Hall on Monday, January 13, 2020.

The following Council Members were present:

The following Council Members were absent:

A motion to adopt the following resolution was made by _____ and seconded by _____.

.....

**RESOLUTION 2020-09
PRE-AUTHORIZATION OF CLAIM PAYMENTS**

BE IT RESOLVED that the City Administrator or designee is hereby authorized to issue payments drawn of funds of the city for the following expenditures:

all utilities, including electrical, heating fuel, telephone, water, and sewer; postage; payroll activity; payment of sales taxes; registrations; other miscellaneous taxes; expenses subject to finance charges; and payments required under contracts or that have been otherwise pre-authorized by the City Council and entered into by the City.

BE IT FURTHER RESOLVED that the City Council hereby authorizes these payments to be made by electronic funds transfers or wire transfers, if necessary, subject to the following conditions:

- all electronic funds transfers or wire transfers shall be documented in writing and pre-approved by the City Administrator;
- a written confirmation for each transaction shall be obtained and signed by the Mayor following the transaction; and
- a complete list of all electronic transactions for the month shall be presented to the City Council at each regular city council meeting as part of the claims approval process.

Council members voting in favor:

Opposed or Abstained:

Adopted by the City Council this 13th day of January, 2020.

ATTEST:

APPROVED BY:

Annita M. Smythe, City Administrator

Andrea Lawrence, Mayor

2019 PARK RENTALS

	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEPT	OCT	NOV	DEC	
RENTALS	1	2	1	3	1	7	2	6	4	5	2	9	43
FOOD SHELF	15	12	12	15	13	12	15	12	13	15	12	9	155
LIONS CLUB	1	2	1	2	2	1	1	3	2	1	2	1	19
CITY	1	0	1	0	0	0	0	0	0	0	0	0	2
													219

Total days Lions Building was utilized 219

SPORTSMANS

FOR SPORTING EVENTS RIVER CATS PLAYED SPRING AND FALL BALL
ALSO UTILIZED BY CLAYBA FOR YOUTH BASEBALL

ELDORADO

ST CLOUD RUGBY TEAM PAID \$1,000.00 AND SUPPLIED A PORTA POTTY TO BE ABLE TO
USE ELDORADO PARK FOR THE YEAR TO PLAY RUGBY.

2019 Homes Sold/Built

Address	Moved from	Date of Closing	# IN HOUSEHOLD
CEDAR SOUTH			
1045 Mitchell Ave	Cedar South Apartments	2/8/2019	2
535 Isabella	Willman, MN	2/22/2019	2
605 8th	Clearwater Township	3/8/2019	1
614 9th St	Ramsey	11/15/2019	
1004 Nicole Ave	Monticello	3/28/2019	1
705 Lauren Ave	Maple Lake	2/21/2019	3
520 Isabella Court	Sartell	5/3/2019	
1025 Mitchell	Annandale	4/25/2019	
990 Kelsey		6/27/2019	
741 Isabella Ave	Otsego	6/12/2019	
810 10th St	Ramsey	6/28/2019	5
760 Isabella Ave			
1010 Nicole Ave	Brooklyn Park	3/22/2019	2
641 8th St	rental in Clearwater	7/22/2019	5
985 Kelsey Ave	1090 Porter St. Clearwater	6/28/2019	
795 Isabella Ave	Clear Lake	8/1/2019	3
660 Juliet Ave	St. Michael	1/18/2019	2
940 Isabella Ave	Monticello	8/30/2019	1
755 Isabella Ave	Annandale	9/13/2019	
925 Isabella Ave	South Haven	8/30/2019	4
515 10th St		11/22/2019	
604 9th St	Clearwater Township	12/13/2019	2
919 Isabella Ave	Maple Lake	12/9/2019	2
770 Isabella Ave	Cedar South Apartments	12/17/2019	2
CLEARWATER ESTATES			
125 Bluebird Lane	Valley City, North Dakota	11/27/2019	2
199 Goldfinch Lane	Minong, Wisconsin	1/25/2019	2
171 Cardinal Lane	Becker	3/5/2019	2
119 Bluebird Lane	Apple Valley	5/3/2019	1
177 Cardinal Lane	Long Prairie	5/10/2019	
163 Cardinal Lane	705 Spring St	6/19/2019	1
218 Hummingbird Court	Pillager	6/28/2019	2
223 Goldfinch Lane	Becker	6/10/2019	2

Address	Moved from	Date of Closing	# IN HOUSEHOLD
154 Cardinal Lane	Kimball	9/6/2019	2
145 BlueBird Lane	Billings, Montana	9/12/2019	2
180 Cardinal lane	Baxter	10/1/2019	1
104 Goldfinch Lane	109 Goldfinch lane	10/28/2019	2
169 Cardinal Lane	Winsted	9/30/2019	2
232 Goldfinch Lane	Casa Grande, Arizona	11/27/2019	

ALL OTHER

425 Main Street	Big Lake	12/31/2018	2
325 Spring Street	Clearwater Township	12/21/2019	3
200 Kitty Drive	Parkers Prairie	2/28/2019	5
1380 Sunrise Ct	North Branch	4/26/2019	5
545 Bluff St	Maple Lake	4/24/2019	2
400 Prairie	Rogers	5/30/2019	2
710 Main St	South Haven	5/24/2019	1
705 Spring St	Brooklyn Center	6/27/2019	5
345 Bluff St	Kimball	7/26/2019	5
620 Spring St	Monticello	8/15/2019	
405 Spring St			
935 Main St	Monticello	9/6/2019	
245 Spring St	Becker	9/20/2019	3
315 Kothman Circle	South Haven	9/1/2019	
205 Bluff St	Joliet, Illinois	12/9/2019	1
610 Main St	St. Joseph	12/27/2019	1
			93

COMMERCIAL BUILDINGS

900 Highway 24	new owner, Parts City Auto	2/22/2019
435 main St	New owner	8/8/2019
750 Heaton Blvd	Blaine Brothers	

NEW HOME PERMITS	MOVED FROM	DATE OF CLOSING	# IN HOUSEHOLD	EST. VALUE	BUILDER
515 Spring St	Cedar South Apartments	12/23/2019	2		MOVED IN HOME
800 10th street				173,000.00	PROGRESSIVE
1020 Mitchell Ave				236,000.00	PROGRESSIVE
1075 Mitchell Ave	Big Lake	12/17/2019	3	236,000.00	PROGRESSIVE
835 10th St	Buffalo	12/17/2019	2	236,000.00	PROGRESSIVE
704 Lauren Ave	Clearwater Township	11/22/2019	1	174,000.00	PROGRESSIVE
825 10th Street				254,000.00	PROGRESSIVE
1040 Nicole				241,000.00	SHAWN THIELEN

NEW HOME PERMITS	MOVED FROM	DATE OF CLOSING	# IN HOUSEHOLD	EST. VALUE	BUILDER
830 10th St	Clear Lake	10/24/2019		233,000.00	PROGRESSIVE
735 lauren Ave	Minneapolis	10/16/2019	1	190,000.00	PROGRESSIVE
725 Lauren Ave	Buffalo	8/27/2019	2	250,000.00	PROGRESSIVE
715 Lauren Ave	Maple Lake	9/20/2019	3	242,000.00	PROGRESSIVE
1024 Nicole Ave	St. Cloud	7/30/2019		254,233.00	PROGRESSIVE
920 Kelsey Ave	Hutchinson	8/15/2019	2	173,042.00	PROGRESSIVE
1016 Nicole Ave	St Cloud	8/30/2019	4	232,664.00	PROGRESSIVE
840 Lauren Ct	620 9th St, Clearwater	9/26/2019		246,000.00	CHOICE HOMES
				3,370,939.00	

42 Homes sold in 2014 1 new home built
47 Homes sold in 2015 3 new homes built
49 Homes sold in 2016 2 new homes built
44 Homes Sold in 2017 7 new homes built
54 Homes sold in 2018 9 new homes built
54 Homes sold in 2019 15 new homes built

100 Building Permits were processed in 2019