

CITY OF CLEARWATER PLANNING & ZONING MEETING

AGENDA July 14th, 2020

7:00 Call to Order: 7:00 p.m. via Zoom Web Conference
Introduction of new member William (Bud) Schindele
Approve Agenda
Approve 5-26-2020 Minutes

7:05 PRESENTATION BY CITY PLANNER, KEVIN SHAY

7:15 COMMENTS BY APPLICANT- MIKE GOHMAN

7:20 PUBLIC HEARING-

Preliminary Plat to allow construction of 22 single family home lots included in Clearwater Estates (PID#s 104019000040, 104019000052 and 104022000011)

7:30 COMMITTEE DISCUSSION

RESOLUTION PZ20- RECOMMENDING APPROVAL OF A PRELIMINARY PLAT TO CREATE 22 NEW LOTS FROM THREE EXISTING LOTS (PID# 104019000040, 104019000052 and 104022000011) WITH THE RECOMMENDED FINDINGS OF THE CITY PLANNER AND SUBJECT TO THE CONDITIONS LISTED

Other

Adjourn

*Their may be a quorum of other City Boards or committees present.

*All times are tentative.

MEMBERS OF THE PUBLIC THAT WISH TO LISTEN TO THE MEETING SHOULD SUBMIT YOUR NAME, ADDRESS, AND EITHER A PHONE NUMBER OR EMAIL ADDRESS TO CITY ADMINISTRATOR ANNITA SMYTHE, email asmythe@clearwatercity.com, AT LEAST 15 MINUTES PRIOR TO THE MEETING TO OBTAIN THE CREDENTIALS FOR THE MEETING. THERE WILL NOT BE A PUBLIC COMMENT PERIOD AT THIS MEETING.

**City of Clearwater
Planning & Zoning Commission
MAY 26TH, 2020 Minutes**

Chair Watson, called the meeting to order via Zoom Conference at 7:00 pm.

Members present: Bob Watson, Kris Crandall, Wayne Kruchten

Members absent: 1 vacancy on board and Robert Yurch

Visitors as signed in: Krista Stier-Owner of property, Dave TeBrake

Others present: Deb Petty- Zoning Administrator, Annita Smythe-City Administrator, Justin Kannas-City Engineer and Kevin Shay-City Planner

MOTION TO APPROVE THE AGENDA, CRANDALL, SECOND BY KRUCHTEN ALL MEMBERS PRESENT IN FAVOR, MOTION CARRIED

MOTION TO APPROVE THE MAY 5THTH, 2020 MINUTES, WATSON, SECOND BY KRUCHTEN ALL MEMBERS PRESENT IN FAVOR, MOTION CARRIED

Committee discussion on site plan for 615 Smith St, parcel 104-036-002010 submitted by Miller Architects & builders, on behalf of property owner, LFK Enterprises, LLC to construct a new hair & nail salon.

Member Kruchten asked if she rented out the chair space. Krista stated that they are employees of the company.

Chair Watson asked if she had a snow removal plan for the winter. Krista stated that she also owned the empty lot abutting the parcel and that would be an option to store snow.

Krista stated she is very excited for her business and it is a second generation business. She is hoping for an opening/completion date in early October.

MOTION TO APPROVE RESOLUTION PZ20-06 RECOMMENDING APPROVAL OF A SITE PLAN FOR A HAIR SALON AT THE PROPERTY TO THE SOUTH OF SMITH STREET AND ASH STREET (615 SMITH STREET PID# 104036002010) WITH STAFF CONDITIONS, KRUCHTEN, SECOND BY CRANDALL, ALL MEMBERS PRESENT IN FAVOR, MOTION CARRIED.

OTHER-none

Next Meeting: UNKNOWN, AS NEEDED

MOTION TO ADJOURN THE MEETING, CRANDALL, SECOND BY KRUCHTEN, ALL MEMBERS PRESENT IN FAVOR, MOTION CARRIED.

Meeting adjourned at 7:19 pm.

Respectfully submitted,

Deb Petty, Zoning Administrator

Robert Watson, Chair



CITY OF CLEARWATER
605 County Rd 75 NW · Clearwater, MN 55320
320.558.2428
Website: www.clearwatercity.com

June 24, 2020

**CITY OF CLEARWATER
NOTICE OF PUBLIC HEARING FOR
A PRELIMINARY PLAT
FOR GOHMAN CONSTRUCTION**

Notice is hereby given that the Clearwater Planning Commission will hold a public hearing on July 14, 2020 via Zoom Web Conference at 7:00 PM or as soon thereafter as possible, to consider a request by Gohman Construction. The request is for a Preliminary Plat to allow construction of 22 single family lots at 1100 Main Street. (PID 104019000040, 104019000052 and 104022000011) Legal description available at City Hall upon request.



All persons wishing to speak on this item will be heard. Comments may be submitted in writing prior to the meeting. Members of the public that wish to listen to the meeting or comment during the Public Forum should submit your name, address, and either a phone number or email address to City Administrator Annita Smythe *at least 15 minutes prior to the start of the meeting* in order to obtain the credentials to call in to the meeting. Email: asmaythe@clearwatercity.com

Dated: June 24, 2020

Deb Petty, Zoning Administrator

Published in the Clearwater Tribune
Posted at the Clearwater City Office
Mailed Notice to affected Property Owners

TO: Clearwater Planning and Zoning Committee
FROM: Kevin Shay, Landform
DATE: July 7, 2020 for the July 14, 2020 Planning and Zoning Committee Meeting
RE: Preliminary Plat to allow construction of 22 single family home lots included in Clearwater Estates (PID#s 104019000040, 104019000052 and 104022000011)
REVIEW DEADLINE: October 20, 2020

1. Application Request

Gohman Development, Inc. is requesting approval of a preliminary plat to create 8 single family lots and 14 twin home lots in Clearwater Estates.

2. Background

The project area is 4.42 acres and is currently vacant undeveloped land.

3. Context

Level of City Discretion in Decision-Making

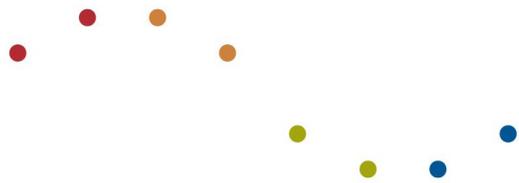
The City's discretion in approving or denying a preliminary plat is limited to whether or not the proposed plat meets the standards outlined in the City's subdivision and zoning ordinance. If it meets these standards, the City must approve the preliminary plat.

Zoning and Land Use

The north parcel is designated as Low Density Residential and the south parcels are designated as Park/Open Space on the Clearwater Future Land Use Map in the 2015 Clearwater Comprehensive Plan. All properties are currently zoned PUD Planned Unit Development on the zoning map. The inconsistency between land use and the zoning has been noted and will be taken care of at a later date.

Surrounding Properties

The Mississippi River is located to the north, the properties to the west are guided Low Density Residential and zoned R-1 Residential Single Family. The properties to the south and east are guided park/open space and zoned PUD Planned Unit Development.



Natural Characteristics of the Site

There is floodplain present on the site and potential wetlands. The site is located in the Wild and Scenic Corridor Overlay.

4. Analysis of Request

The applicant is proposing to construct 8 single family home lots and 14 twin home lots. Staff reviewed this request for compliance with the Comprehensive Plan, Zoning Ordinance and City Code requirements.

Setbacks

The new lots created by the subdivision have been approved for incorporation into the existing Clearwater Estates through an amendment to the Declaration of Covenants. (included in packet) The Declaration of Covenants provides the dimensional standards for lots in the Clearwater Estates PUD. The following table shows the minimum and proposed standards for the site;

Standard	Minimum	Proposed
Lot Area	None	5,896 sq. ft.
Lot Width	None	49 ft.
Building Setback:	-	-
Front	20 ft.	20 ft.
Side	5 ft.	5 ft.*
Rear	5 ft.	5 ft.

*Except zero lot line setbacks for twin homes.

Building and Architecture

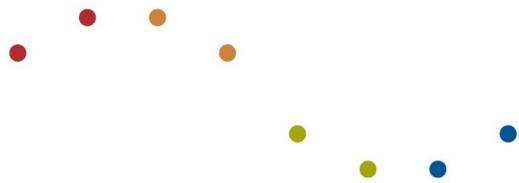
Building elevations have not been submitted by the applicant. All new homes must receive approval from the architectural review committee for Clearwater Estates. The building elevations should depict a home that is consistent in size and appearance with the other homes previously constructed.

Access

Access to the proposed development is provided from a connection onto Cardinal Lane for the southern twin home lots and a connection onto Goldfinch Lane for the northern single-family lots. The connection onto Goldfinch Lane creates a long cul-de-sac that will need to meet engineering and fire code standards for pavement and turnaround standards.

Parking

The previously approved conditional use permit for Clearwater Estates requires each residence to have 2 parking spaces. Staff finds that the applicant complies with the requirements for total parking. Staff also reviewed the dimensional standards for the parking spaces and in Section 117-1164 and finds that the plans meet or exceed the dimensional requirements of the Zoning Ordinance.



Tree Preservation

Section 117-1131 of the Zoning Ordinance requires a tree preservation plan to be submitted which shows the existing tree areas. The applicant has provided a tree preservation plan and it is encouraged that trees be preserved to the greatest extent possible.

Lighting

The declaration of covenants for Clearwater Estates requires that street lighting be installed within the development. The streetlights are planned to be installed by Xcel Energy to match the existing streetlights. A plan for the proposed streetlight locations and details for the light pole shall be submitted to the city for review.

Wetlands

The applicant will need to provide a wetland delineation showing all wetlands located on the site. If any wetland mitigation is needed, a mitigation plan will need to be submitted for review.

Other Reviews

The City Engineer reviewed the plans on July 7, 2020. Staff has included a condition that the applicant work with staff to address comments contained in the report in a manner that is satisfactory to the City.

The applicant will need to comply with applicable requirements from the Building Inspector.

Easement Vacation

The applicant is proposing to vacate an existing drainage and utility easement dedicated with a previous subdivision. The vacation is to allow for the extension of Hummingbird Lane to be constructed with a different alignment. Staff has reviewed the easement vacation and has no concerns with the proposed vacation. The easement vacation is only acted upon by City Council.

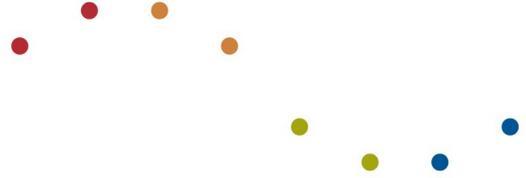
Preliminary Plat

The applicant is proposing to plat the existing Outlots into 22 buildable lots to be utilized for 8 single family homes and 14 twin homes.

1. The proposed preliminary plat conforms to the requirements of this chapter and the applicable zoning district regulations.

The proposed preliminary plat meets the requirements of the subdivision and zoning ordinance and the requirements established in the approved Planned Unit Development.

2. The proposed subdivision is consistent with the city's comprehensive plan and any other adopted land use studies and is compatible with the platting or approved preliminary plat on adjoining lands.



The proposed subdivision is consistent with the comprehensive plan and the adjoining lands.

3. The proposed plat does not constitute a premature subdivision under subsection 113-50(d)

The proposed plat is not a premature subdivision.

4. The physical characteristics of the site, including but not limited to topography, vegetation, wetlands, susceptibility to erosion and siltation, susceptibility to flooding, water storage and retention, are such that the site is suitable for the type of development or use contemplated.

The site is suitable for the proposed residential development.

5. The design or improvement of the proposed subdivision complies with applicable plans of the county and the state.

The site has no applicable plans from the county or the state.

6. The design or improvement of the proposed subdivision is not likely to cause environmental damage or health problems.

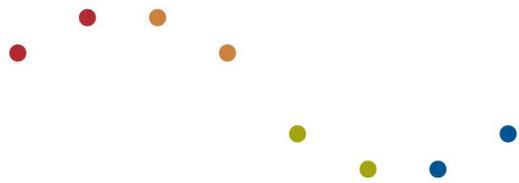
The design of the subdivision will meet all local ordinances and is not likely to cause environmental damage or health problems.

7. The completion of the proposed development of the subdivision can be achieved in a timely manner so as not to cause an undue economic burden upon the city for maintenance, repayment of bonds or similar burden.

The completion of the proposed development can be achieved in a timely manner and does not contain public improvements that would impose a burden on the city.

8. That permits applicable to the site/project as required by local, state and federal law have been applied for and/or have been approved. The applicant is required to prove compliance with all local, state and federal law. The city and/or its assigns may determine whether an application for approval is sufficient or if approval of a permit application is required.

Prior to any site work commencing the applicant will have received the necessary approval from the all local, state and federal agencies.



5. Summary

Provided that the applicant revises plans as noted in the staff conditions, the applicant meets the requirements of the preliminary plat.

6. Recommendation

Recommend approval of the following resolutions to allow 8 single family lots and 14 twin home lots subject to staff conditions;

- a. Planning Commission Preliminary Plat Resolution and Findings of Fact

Attachments

1. Planning Commission Preliminary Plat Resolution and Findings of Fact
2. Wright County Property Location Map
3. City Engineer's Memo dated July 7, 2020
4. Engineering Plan dated May 26, 2020
5. Preliminary Plat dated April 9, 2020
6. Amendment to Declaration dated May 20, 2020

**PLANNING AND ZONING COMMISSION
CITY OF CLEARWATER**

RESOLUTION NO. PZ20-07

**RESOLUTION RECOMMENDING APPROVAL OF A PRELIMINARY PLAT TO CREATE 22
NEW LOTS FROM THREE EXISTING LOTS (PID# 104019000040, 104019000052 and
104022000011)**

WHEREAS, Gohman Development, Inc. ("the applicant") has requested approval of a preliminary plat to create 22 new lots from three existing lots on property legally described as follows:

See Exhibit A

WHEREAS, notice of a public hearing to accept input on the preliminary plat request was published in the official newspaper on June 24, 2020 and also sent to property owners within 350 feet of the property; and

WHEREAS, the Planning Commission conducted a public hearing on the preliminary plat request on July 14, 2020 and accepted input on the preliminary plat request; and

WHEREAS, the Planning Commission has reviewed the preliminary plat request and has made the following findings:

1. The proposed preliminary plat conforms to the requirements of this chapter and the applicable zoning district regulations.

Planning Commission Finding:

2. The proposed subdivision is consistent with the city's comprehensive plan and any other adopted land use studies and is compatible with the platting or approved preliminary plat on adjoining lands.

Planning Commission Finding:

3. The proposed plat does not constitute a premature subdivision under subsection 113-50(d)

Planning Commission Finding:

4. The physical characteristics of the site, including but not limited to topography, vegetation, wetlands, susceptibility to erosion and siltation, susceptibility to flooding, water storage and retention, are such that the site is suitable for the type of development or use contemplated.

Planning Commission Finding:

5. The design or improvement of the proposed subdivision complies with applicable plans of the county and the state.

Planning Commission Finding:

6. The design or improvement of the proposed subdivision is not likely to cause environmental damage or health problems.

Planning Commission Finding:

7. The completion of the proposed development of the subdivision can be achieved in a timely manner so as not to cause an undue economic burden upon the city for maintenance, repayment of bonds or similar burden.

Planning Commission Finding:

8. That permits applicable to the site/project as required by local, state and federal law have been applied for and/or have been approved. The applicant is required to prove compliance with all local, state and federal law. The city and/or its assigns may determine whether an application for approval is sufficient or if approval of a permit application is required.

Planning Commission Finding:

WHEREAS, The Planning Commission has extensively reviewed the applicable code, considered the findings as well as the comments, and input of the Applicants, the Property Owner, the neighboring residents and the general public.

NOW, THEREFORE, BE IT RESOLVED BY THE CLEARWATER PLANNING COMMISSION THAT; the Planning Commission does hereby recommend the issuance of a preliminary plat to create 22 lots where three lots exist. (PID# 104019000040, 104019000052 and 104022000011), subject to the following conditions:

1. The applicant shall work with City staff to address comments from the City Engineer's memo dated July 7, 2020.
2. The applicant shall work with the Clearwater Fire Department and Building Official to ensure that the project meets State Fire and Building Codes.
3. All home elevations shall be consistent in size and appearance to the existing Clearwater Estates homes and shall be reviewed and approved by the Architectural review committee for Clearwater Estates.
4. The plat should be revised to eliminate the matching Block 1 labels to differentiate between the blocks.
5. The plan should be revised to include drainage and utility easement over all lots. The city requires 10-foot easements on the front and rear lot lines and 5-foot easements on the side lot lines. The shared lot lines for the twin homes do not need to provide easements.
6. A final plat shall be submitted within one year of approval for the preliminary plat or the preliminary plat will expire.
7. No signage has been approved. The applicant must submit a sign permit to city staff for any signage.

Prior to Grading Permit:

1. The applicant shall submit a wetland delineation to the city for review. Any wetland fill will require additional review and permits.

2. The applicant should provide more information on the FEMA floodplain areas. If any floodplain impacts are proposed, additional permits will be needed to review the fill and mitigation.
3. The applicant shall submit the appropriate park dedication fees.

DATED THIS 14th DAY OF JULY 2020

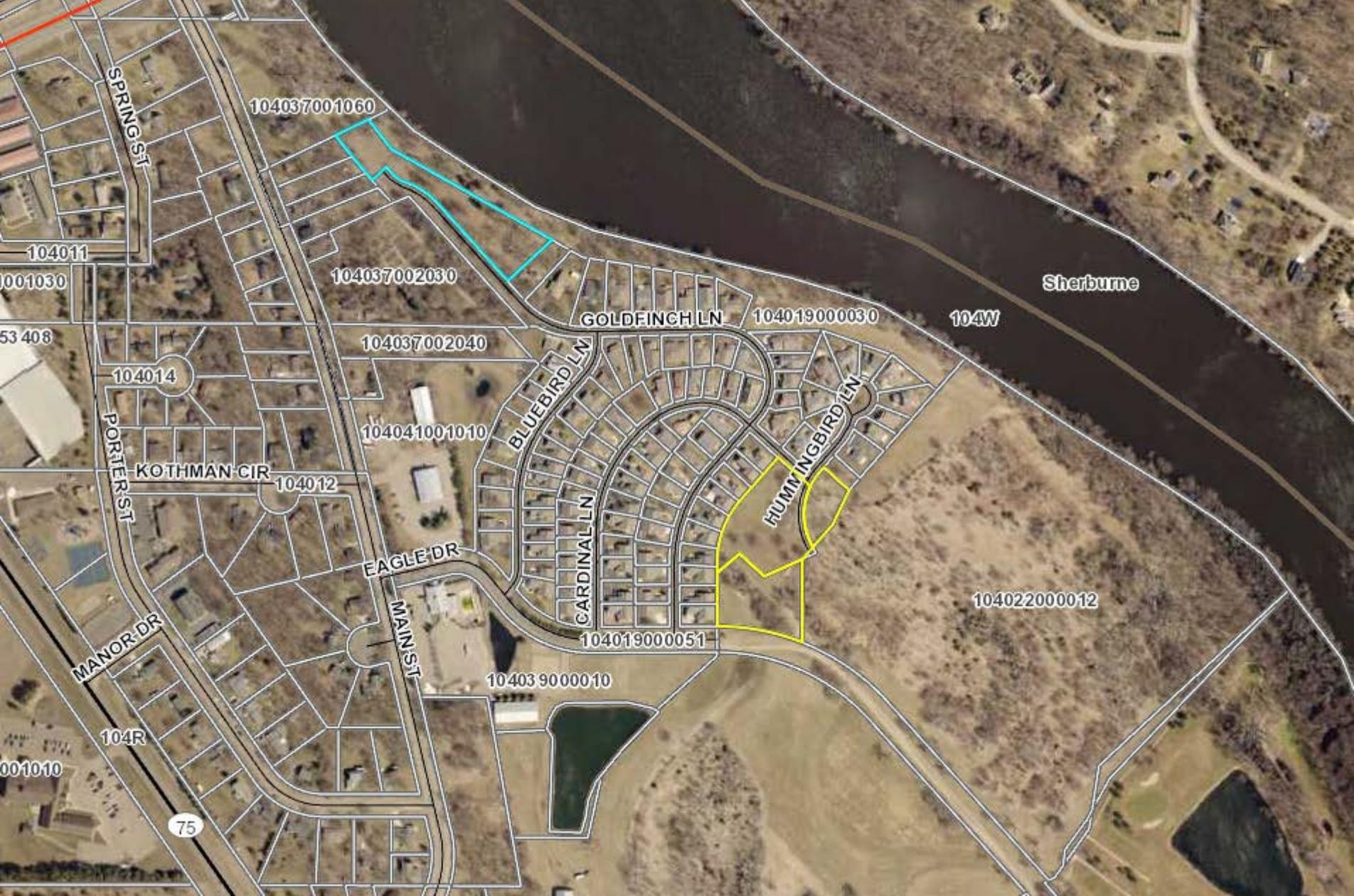
ATTEST:

Planning Chair

Deputy City Clerk/Zoning Administrator

**EXHIBIT A
PLAT**

(See attached)



104037001060

SPRING ST

104011

001030

104037002030

Sherburne

GOLDFINCH LN

104019000030

104W

104037002040

BLUEBIRD LN

HUMMINGBIRD LN

104041001010

CARDINAL LN

104014

PORTER ST

KOTHMAN CIR

104012

EAGLE DR

104022000012

104019000051

104039000010

MAIN ST

MANOR DR

104R

001010

75



Real People. Real Solutions.

2040 Highway 12 East
Willmar, MN 56201-5818

Ph: (320) 231-3956
Fax: (320) 231-9710
Bolton-Menk.com

MEMORANDUM

Date: July 7, 2020
To: Honorable Mayor Lawrence-Wheeler and Members of the City Council
Clearwater, Minnesota
From: Justin L. Kannas, P.E.
City Engineer
Subject: Clearwater Estates Plat Eight
Clearwater, Minnesota
BMI Project No: W13.121138

I have reviewed the preliminary plat, preliminary plans dated June 5, 2020 and storm water management plan dated June 8, 2020 for the above referenced project and have the following comments:

- 1) All proposed sanitary sewer, watermain, storm sewer, ponds, and streets will be private infrastructure owned and maintained by a homeowner's association (HOA). The Developer shall provide written agreement from the existing homeowner's association regarding details of maintenance and ownership responsibilities for the sanitary sewer, watermain, storm sewer, ponds, streets, common areas and any other commonly held interest within the development area. The City Planner should provide further review and comment pertaining to HOA documents and requirements.
- 2) The proposed plat shall be revised to eliminate duplication of labeling Block 1 on both the north area and south area.
- 3) Goldfinch Lane shall be a minimum of 26 feet wide as per State Fire Code requirements. The turn-around on the dead end shall be expanded to meet State Fire Code minimum requirements for a turn-around. Goldfinch Lane shall be signed "No Parking" along one side of the street from Bluebird Lane to the dead end. Hummingbird Lane shall be signed "No Parking" along both sides of the street. Homeowner's association documents shall include the No Parking requirement along Goldfinch Lane and Hummingbird Lane and shall include means for enforcement of the No Parking requirement.
- 4) A 30' wide drainage and utility easement shall be provided along the southerly side lot line of Lot 1, Block 1 (north area) to reserve space for a future storm sewer pipe from the Clearwater Estates Pond.
- 5) Public drainage and utility easements shall be dedicated over all drainage swales and utility lines (specifically noted is the drainage swale between Lots 2 and 3, Block 1 (north area)). Drainage and utility easements at least ten feet wide and centered on rear and side lot lines (five feet on each side of the property line) and ten feet wide abutting street right-of-way shall be dedicated on the plat.
- 6) Provide additional detail on driveway slopes and proposed garage floor and home styles/elevations. Minimum slope on driveways shall be 2%.

- 7) The driveway slopes for Block 1 and Block 2 (south area) shall be modified to meet a 10% maximum slope. A lighting plan and photometric plan shall be submitted for review and comment by the City Planner and City Engineer.
- 8) Additional detail shall be provided on the grading plan for Block 1 (north area) showing proposed grades and how drainage will be provided around all sides of the proposed building pads. All yard areas shall have slopes of 2% or greater away from the building pads.
- 9) Add storm sewer rim elevations to the grading plan.
- 10) Swales within the south plat area shall be modified to obtain a minimum 2% slope.
- 11) Additional detail shall be provided on the grading plan for the south area showing elevations east of the plat boundary to show a clear drainage path that will not back up onto the proposed lots. Include localized EOF elevations as applicable.
- 12) Additional drainage detail shall be provided near the intersection of Cardinal Lane and Hummingbird Lane showing the minimum 2% slope drainage path. The feasibility of constructing storm sewer to drain this intersection should be explored.
- 13) The developer shall be responsible for paying all development fees including but not limited to Trunk Area Fees and Park Dedication Fees.
- 14) A wetland delineation and report shall be completed by a certified wetland delineator.
- 15) A stormwater pollution prevention plan shall be submitted meeting all MPCA NPDES Construction stormwater requirements.
- 16) The FEMA floodplain locations shall be more clearly shown on the plans by utilizing hatching or other means depicting the areas within and outside of the floodplain. The plans shall show both the floodway district and flood fringe district as defined in City Ordinance 109.70. The regulatory flood protection elevations shall be noted on the plan. All proposed improvements shall comply with City Ordinance 109 Floodplain Management and all state and federal requirements.
- 17) A fire hydrant shall be installed near the dead end of Goldfinch Lane. Additional hydrant comments shall be subject to review and comment by the Fire Chief and Fire Marshall.
- 18) Manholes shall be installed on the sanitary sewer line at locations required per the MPCA Sanitary Sewer Extension permit to allow for adequate inspection and jetting by HOA hired contractors. Maintenance access routes to the manholes shall be provided and shown on the plans.
- 19) The plans shall include a profile view of all proposed sanitary sewer and watermain.
- 20) A gate valve shall be installed at both connections to the existing watermain near Hummingbird Lane.
- 21) The proposed sanitary sewer for the south area is less than 4 feet deep at some locations. These sewer mains and services will have a high risk of freezing even with proposed insulation. The Developer shall modify the sanitary sewer to either add a lift station or install grinder stations to eliminate the shallow gravity sanitary sewer.
- 22) All watermain and sanitary sewer shall be constructed and tested according to City standards. Upon completion, the Developer shall provide a certification to the City that all improvements have been completed according to the approved plans and meet all local and state requirements.

- 23) Watermain and Sanitary Sewer standard details from the City of Clearwater Development Guidelines shall be added to the plans.
- 24) Storm Water Management Plan Comments:
 - a. Label the drainage figures to match the HCAD nodal diagrams (include pond labeling).
 - b. Special attention is required during construction to keep construction sediment out of the infiltration basins. The SWPPP shall be designed accordingly.
 - c. Sign the SWMP
 - d. The provided water quality volume for the south lots is not clear. Please clarify.
 - e. Provide a comment in the SWMP regarding depth of ground water at each BMP location.
 - f. Provide additional detail regarding the existing regional pond which the south area of the south lots drain into. Provide pond inlet, outlet and EOF information and low opening elevation of all adjacent structures around the pond. Show the storm sewer path into the pond on the plan.
- 25) The Developer shall execute a Development Agreement prepared by the City.
- 26) The Developer shall be responsible for obtaining all permits including but not limited to the MPCA Sanitary Sewer Extension Permit, MDH Watermain Permit, and an MPCA NPDES Construction Stormwater Permit. Please forward a copy of all permits to the City Engineer prior to construction.

I recommend approval of the preliminary plat contingent upon the above comments and comments as submitted by other City Staff. The applicant shall submit revised plans and storm water calculations for approval by the City Engineer prior to final plan approval.

JLK/jk

cc: Annita Smythe, City Administrator, City of Clearwater
Deb Petty, Deputy Clerk, City of Clearwater
Kevin Shay, City Planner, Landform

CONSTRUCTION PLANS

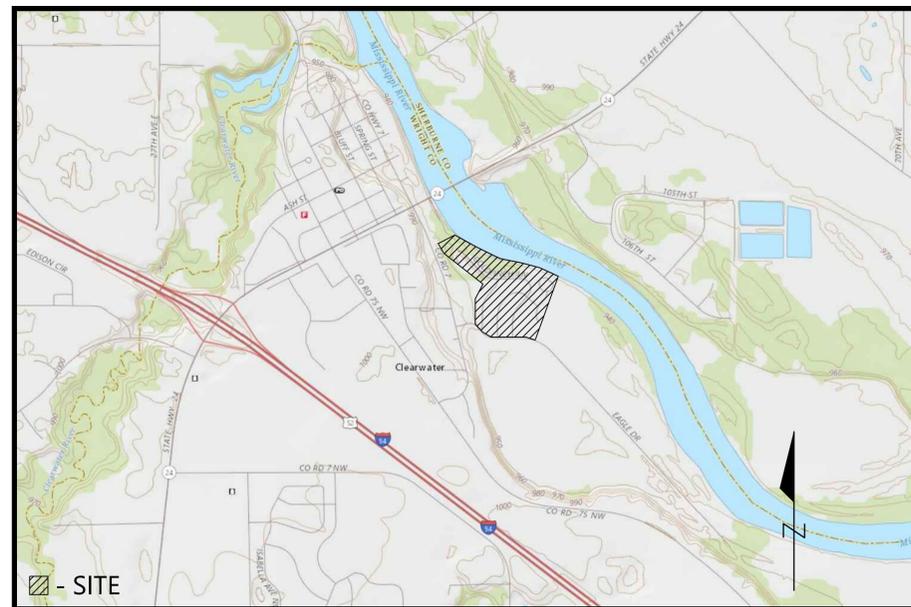
CLEARWATER ESTATES PLAT EIGHT

CLEARWATER, MN

PREPARED FOR:
W. GOHMAN CONSTRUCTION COMPANY
 815 EAST COUNTY ROAD 75
 ST. JOSEPH, MN 56374
 CONTACT: MIKE GOHMAN
 PHONE: (320) 363-7781
 EMAIL: MIKE@WGOHMAN.COM

SHEET INDEX

Sheet List Table	
Sheet Number	Sheet Title
1	Cover
2	Overall Plan
3	Tree Preservation and Removal Plan
4	Grading & Drainage Plan North
5	Grading & Drainage Plan South
6	Grading & Drainage Plan Ditch
7	Erosion Control Plan North
8	Erosion Control Plan South
9	Utility Plan North
10	Utility Plan South
11	Intersection Details
12	Intersection Details
13	Details
14	Details



Vicinity Map
(NOT TO SCALE)

BENCHMARKS

- BM-1**
80 LF NE OF THE INTERSECTION OF CARDINAL LN AND HUMMINGBIRD LN
TOP-NUT-HYDRANT
ELEV.=948.03 NAVD-88
- BM-2**
NE QUADRANT OF THE INTERSECTION OF EAGLE DR AND GOLDFINCH LN
TOP-NUT-HYDRANT
ELEV.=948.05 NAVD-88
- BM-3**
200 LF NW OF THE INTERSECTION OF GOLDFINCH LN AND BLUEBIRD LN
TOP-NUT-HYDRANT
ELEV.=951.00 NAVD-88

** SURVEY DATA AND BENCHMARKS PROVIDED BY O'MALLEY & KRON. **

FOR CITY APPROVAL

DESIGNED: _____ WRH
 CHECKED: _____ WRH
 DRAWN: _____
 FIELD CREW: _____
 FIELD WORK DATE: _____

INITIAL ISSUE: 04/08/19
 REVISIONS:
 08/28/2019 - CLIENT COMMENTS
 05/08/2020 - CITY COMMENTS

PREPARED FOR:
W. GOHMAN CONSTRUCTION COMPANY
 815 EAST COUNTY ROAD 75
 ST. JOSEPH, MN 56374

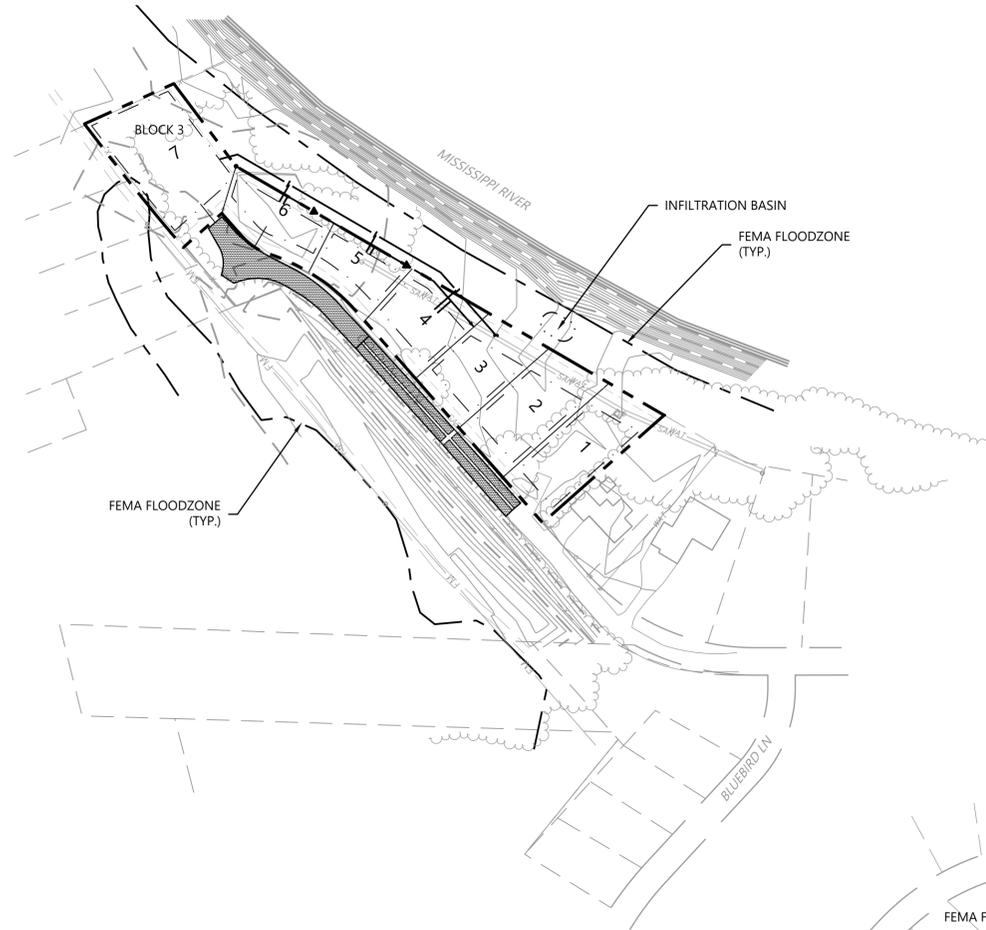
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA
Brad C. Wilkening
 BRAD C. WILKENING
 DATE: 05/08/20 LICENSE NO. 26908

CLEARWATER ESTATES PLAT EIGHT
 CLEARWATER, MN

Westwood
 Phone (320) 253-9495 3701 12th Street North, Suite 206
 Fax (320) 358-2001 St. Cloud, MN 56303
 Toll Free (800) 270-9495 westwoodps.com
 Westwood Professional Services, Inc.

COVER

SHEET NUMBER:
 1 OF 14
 DATE: 05/08/20



NAVD-88 TO NGVD-29 DATUM=0.394 CONVERSION
 (PER O'MALLEY & KRON)

SITE LEGEND

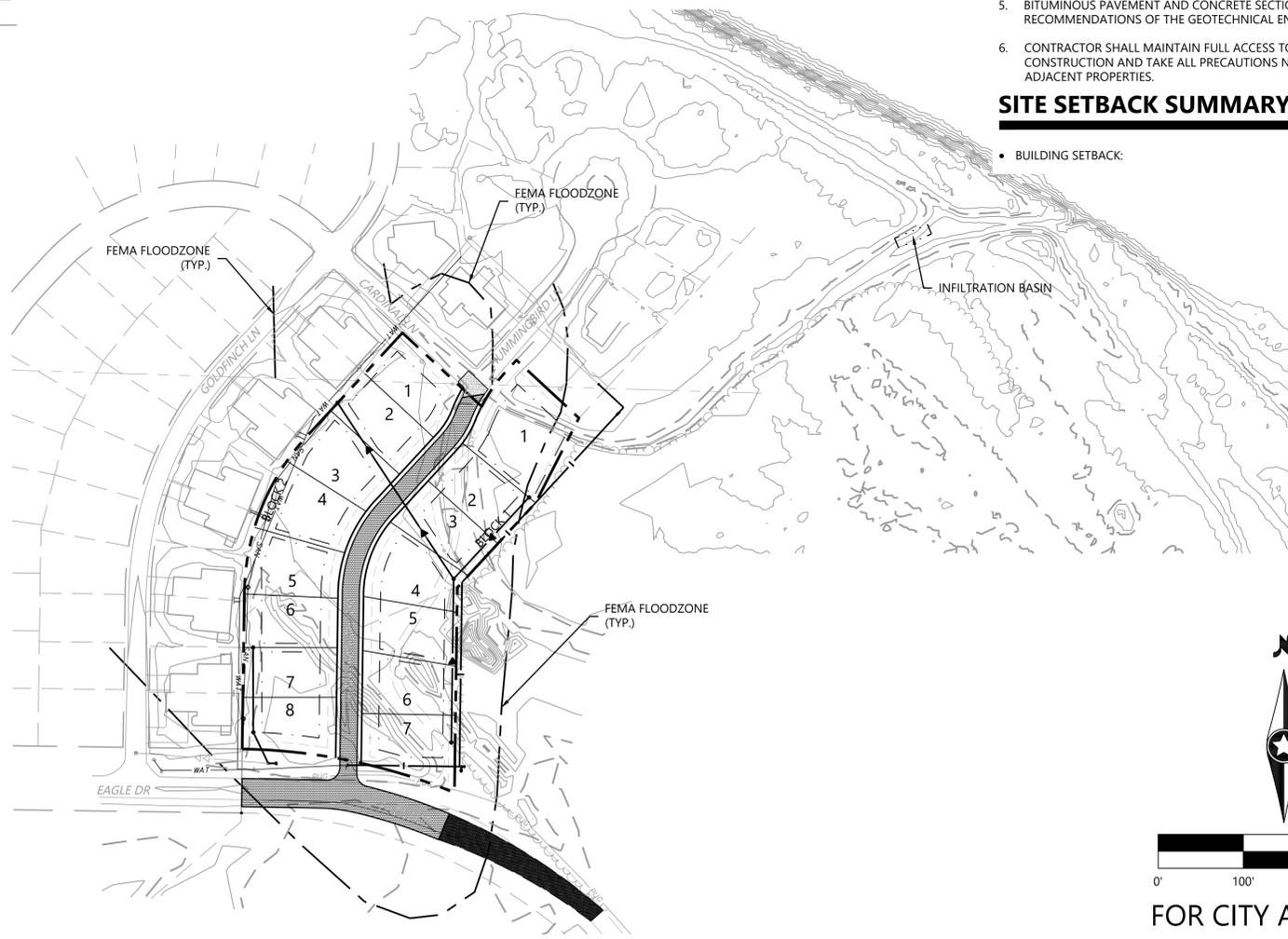
EXISTING	PROPOSED	
		PROPERTY LINE
		LOT LINE
		SETBACK LINE
		EASEMENT LINE
		CURB AND GUTTER
		POND NORMAL WATER LEVEL
		CONCRETE PAVEMENT
		CONCRETE SIDEWALK
		SITE LIGHTING
		TRAFFIC SIGN
		POWER POLE

GENERAL SITE NOTES

- BACKGROUND INFORMATION (SURVEY DATA & CONVERSION FACTORS) FOR THIS PROJECT PROVIDED BY O'MALLEY & KRON LAND SURVEYORS, INC. COLD SPRING, MN 01/26/18.
- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY.
- REFER TO BOUNDARY SURVEY FOR LOT BEARINGS, DIMENSIONS AND AREAS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGGERS AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE CITY AND ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- BITUMINOUS PAVEMENT AND CONCRETE SECTIONS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.

SITE SETBACK SUMMARY

- BUILDING SETBACK:
 - 20' FRONT
 - 5' SIDE / 20' SIDE TO ROW
 - 5' REAR
 - 10' FROM PROPOSED OR EXISTING UTILITIES



N:\014561.00\DWG\CIVIL\014561.00\0A01.DWG

CLEARWATER ESTATES PLAT EIGHT

DESIGNED: WRH
 CHECKED: WRH
 DRAWN:
 FIELD CREW:
 FIELD WORK DATE:

INITIAL ISSUE: 04/08/19
 REVISIONS:
 08/28/2019 - CLIENT COMMENTS
 05/08/2020 - CITY COMMENTS

PREPARED FOR:
**W. GOHMAN
 CONSTRUCTION COMPANY**
 815 EAST COUNTY ROAD 75
 ST. JOSEPH, MN 56374

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

 BRAD C. WILKENNING
 DATE: 05/08/20 LICENSE NO. 26908

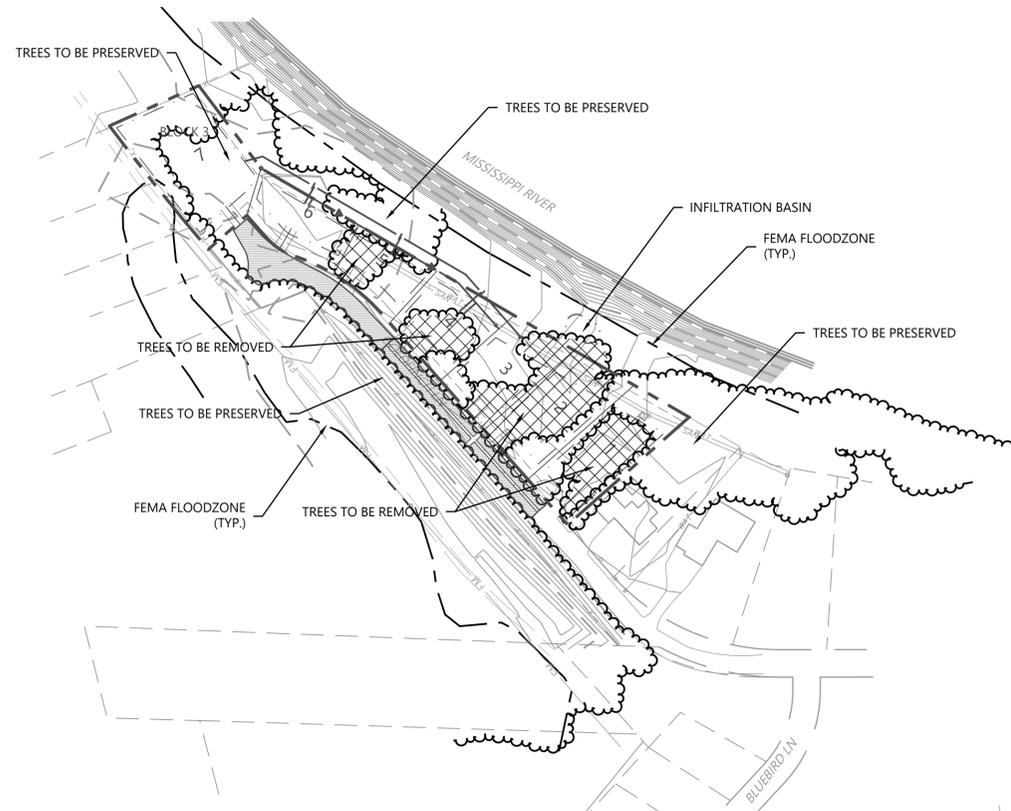
CLEARWATER ESTATES PLAT EIGHT
 CLEARWATER, MN

Westwood

Phone (320) 253-9495 3701 12th Street North, Suite 206
 Fax (320) 358-2001 St. Cloud, MN 56303
 Toll Free (800) 270-9495 westwoods.com
 Westwood Professional Services, Inc.

OVERALL PLAN

SHEET NUMBER:
2 OF **14**
 DATE: 05/08/20



TREE PRESERVATION LEGEND

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	LOT LINE
		TREE LINE TO BE REMOVED

TREE REMOVAL NOTES

1. TREE CANOPY OUTSIDE OF BLOCK 1 AND BLOCK 2 SHALL REMAIN.
2. AREA WITHIN BLOCK 1 AND BLOCK 2 SHALL BE CLEAR CUT FOR PROPER GRADING AND DRAINAGE.
3. MAXIMUM EFFORT WILL BE MADE TO MAINTAIN EXISTING TREES WITHIN BLOCK 3.



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CLEARWATER ESTATES PLAT EIGHT

DESIGNED: WRH
 CHECKED: WRH
 DRAWN:
 FIELD CREW:
 FIELD WORK DATE:

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**TREE PRESERVATION AND
 REMOVAL PLAN**

SHEET NUMBER:
3 OF **14**
 DATE: 05/08/20

DRAINAGE CALCULATIONS

REQUIRED:
 IMPERVIOUS SURFACE = 7 LOTS @ 3,220SF IMPERVIOUS EACH = 22,540SF
 1" WQV = 1,878CF

PROVIDED:

ELEVATION	AREA	INC. VOLUME
944	812SF	984.5CF
945	1,157SF	1,357.5CF
946	1,558SF	1,842.5CF

TOTAL VOLUME PROVIDED: 2,342CF

LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		POND NORMAL WATER LEVEL
		INDEX CONTOUR
		INTERVAL CONTOUR
		SANITARY SEWER
		SANITARY SEWER FORCE MAIN
		STORM SEWER
		WATER MAIN
		HYDRANT
		GAS
		UNDERGROUND ELECTRIC
		OVERHEAD ELECTRIC
		UNDERGROUND TELEPHONE
		DRAIN TILE
		GATE VALVE
		FLARED END SECTION (WITH RIPRAP)
		SITE LIGHTING
		TRAFFIC SIGN
		SPOT ELEVATION
		1.50% FLOW DIRECTION
		E.O.F. EMERGENCY OVERTFLOW

GRADING & DRAINAGE NOTES

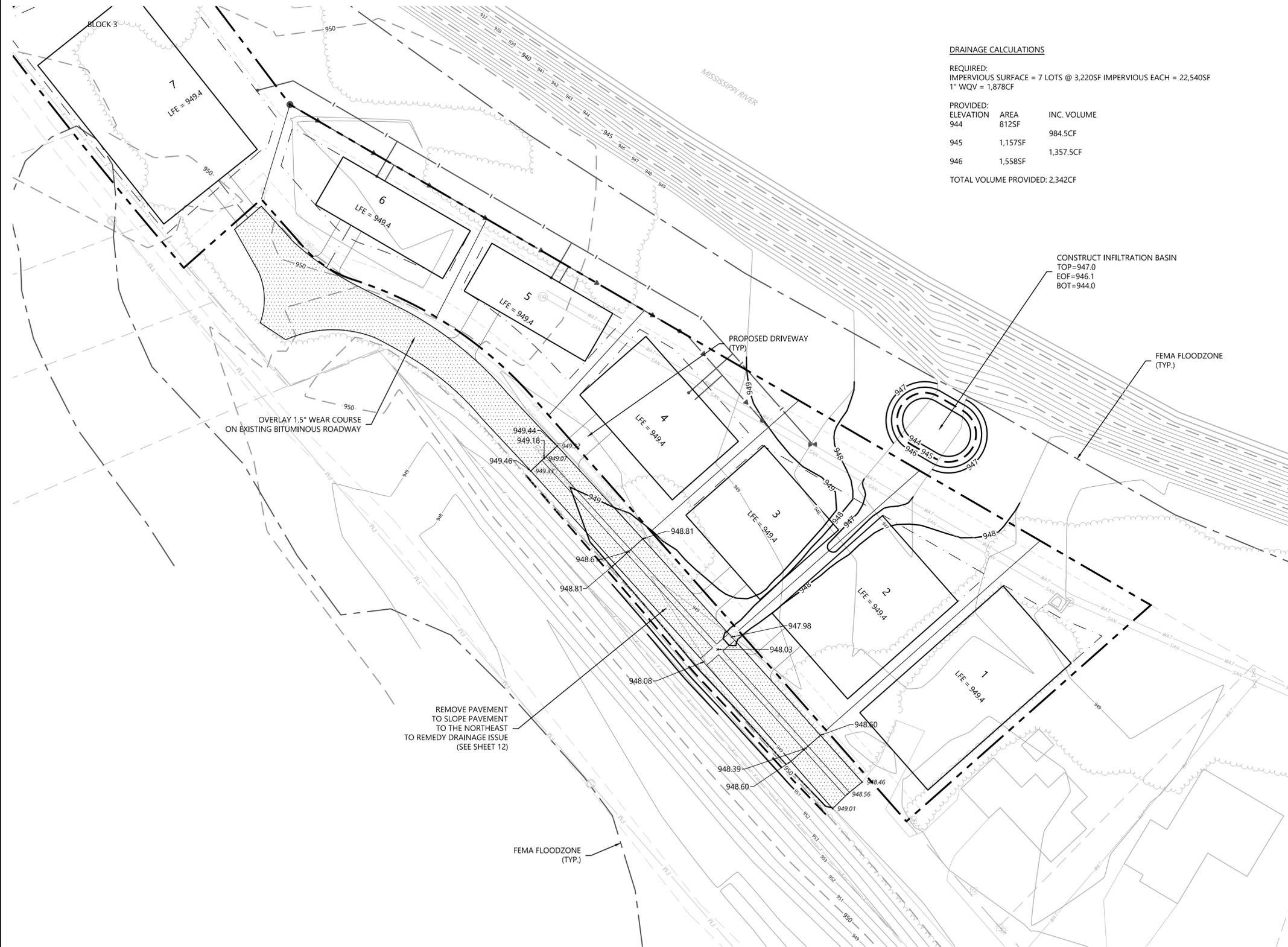
- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- CONTRACTORS SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVEMENT, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS, AND EXACT LOCATIONS AND NUMBER OF DOWNSPOUTS.
- ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR TRENCH EXCAVATION AND BACKFILL/SURFACE RESTORATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
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- ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE AND FEDERAL RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
- POSITIVE DRAINAGE FROM THE SITE MUST BE PROVIDED AT ALL TIMES.

TOPSOIL NOTES

- ON COMMON OPEN SPACES, 6 INCHES OF TOP SOIL WILL BE RESTORED AND THEN PROTECTED AS PART OF FINAL GRADING.
- IF ADEQUATE TOPSOIL IS NOT AVAILABLE ONSITE, REMAINING SOILS WILL NEED TO BE AMENDED TO MEET MNDOT SPEC 3877 FOR TOPSOIL BORROW OR (ALSO MEETING THE MNDOT SPEC) WILL NEED TO BE IMPORTED TO THE SITE.
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 - IMPORT ADEQUATE TOPSOIL, MEETING MNDOT SPEC 3877.

LOT NOTES

LFE = LOWEST FLOOR ELEVATION
 (FEMA BASE FLOOD ELEVATION + 1')
 GFE = GARAGE FLOOR ELEVATION



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CLEARWATER ESTATES PLAT EIGHT

DESIGNED: WRH
 CHECKED: WRH
 DRAWN:
 FIELD CREW:
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INITIAL ISSUE: 04/08/19
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Brad C. Wilkening
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**GRADING & DRAINAGE
 PLAN NORTH**

SHEET NUMBER:
4 OF **14**
 DATE: 05/08/20

LEGEND

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	POND NORMAL WATER LEVEL
---	---	INDEX CONTOUR
---	---	INTERVAL CONTOUR
---	---	SANITARY SEWER
---	---	SANITARY SEWER FORCE MAIN
---	---	STORM SEWER
---	---	WATER MAIN
---	---	HYDRANT
---	---	GAS
---	---	UNDERGROUND ELECTRIC
---	---	OVERHEAD ELECTRIC
---	---	UNDERGROUND TELEPHONE
---	---	DRAIN TILE
---	---	GATE VALVE
---	---	FLARED END SECTION (WITH RIPRAP)
---	---	SITE LIGHTING
---	---	TRAFFIC SIGN
---	---	SPOT ELEVATION
---	---	FLOW DIRECTION
---	---	EMERGENCY OVERTFLOW

GRADING & DRAINAGE NOTES

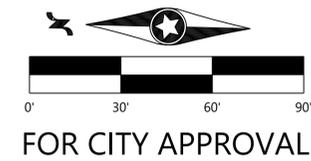
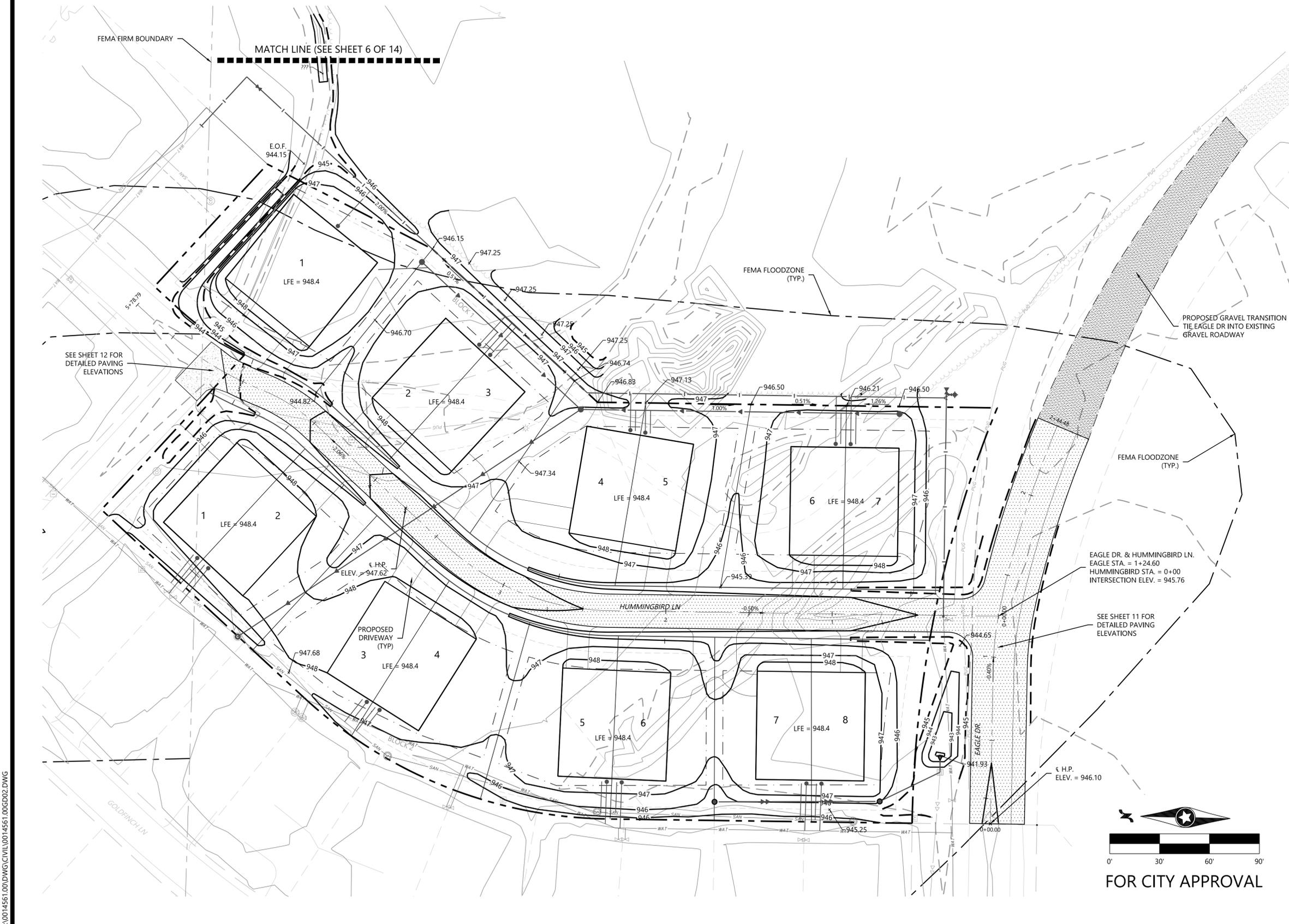
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CLEARWATER ESTATES PLAT EIGHT

DESIGNED: WRH	INITIAL ISSUE: 04/08/19
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DRAWN:	08/28/2019 - CLIENT COMMENTS
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815 EAST COUNTY ROAD 75
ST. JOSEPH, MN 56374

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Westwood Professional Services, Inc.

SHEET NUMBER:
5 OF **14**
DATE: 05/08/20

LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		POND NORMAL WATER LEVEL
		INDEX CONTOUR
		INTERVAL CONTOUR
		SANITARY SEWER
		SANITARY SEWER FORCE MAIN
		STORM SEWER
		WATER MAIN
		HYDRANT
		GAS
		UNDERGROUND ELECTRIC
		OVERHEAD ELECTRIC
		UNDERGROUND TELEPHONE
		DRAIN TILE
		GATE VALVE
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		TRAFFIC SIGN
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		FLOW DIRECTION
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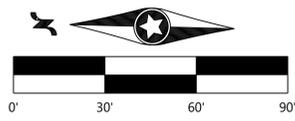
DRAINAGE CALCULATIONS

REQUIRED:
 IMPERVIOUS SURFACE = 19,700SF
 1" WQV = 1,642CF

PROVIDED:

ELEVATION	AREA	INC. VOLUME
941	503SF	740.5CF
942	978SF	1,764.5CF
943	2,551SF	

TOTAL VOLUME PROVIDED: 2,505CF



FOR CITY APPROVAL

CONSTRUCT ADDITIONAL CAPACITY IN EXISTING INFILTRATION BASIN
 TOP=945.0
 BOT=941.0

FEMA FIRM BOUNDARY

MATCH LINE (SEE SHEET 5 OF 14)

N:\0014561.00\DWG\CIVIL\0014561.00\GD02.DWG

CLEARWATER ESTATES PLAT EIGHT

DESIGNED: _____	WRH
CHECKED: _____	WRH
DRAWN: _____	
FIELD CREW: _____	
FIELD WORK DATE: _____	

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SHEET NUMBER:
6 OF **14**
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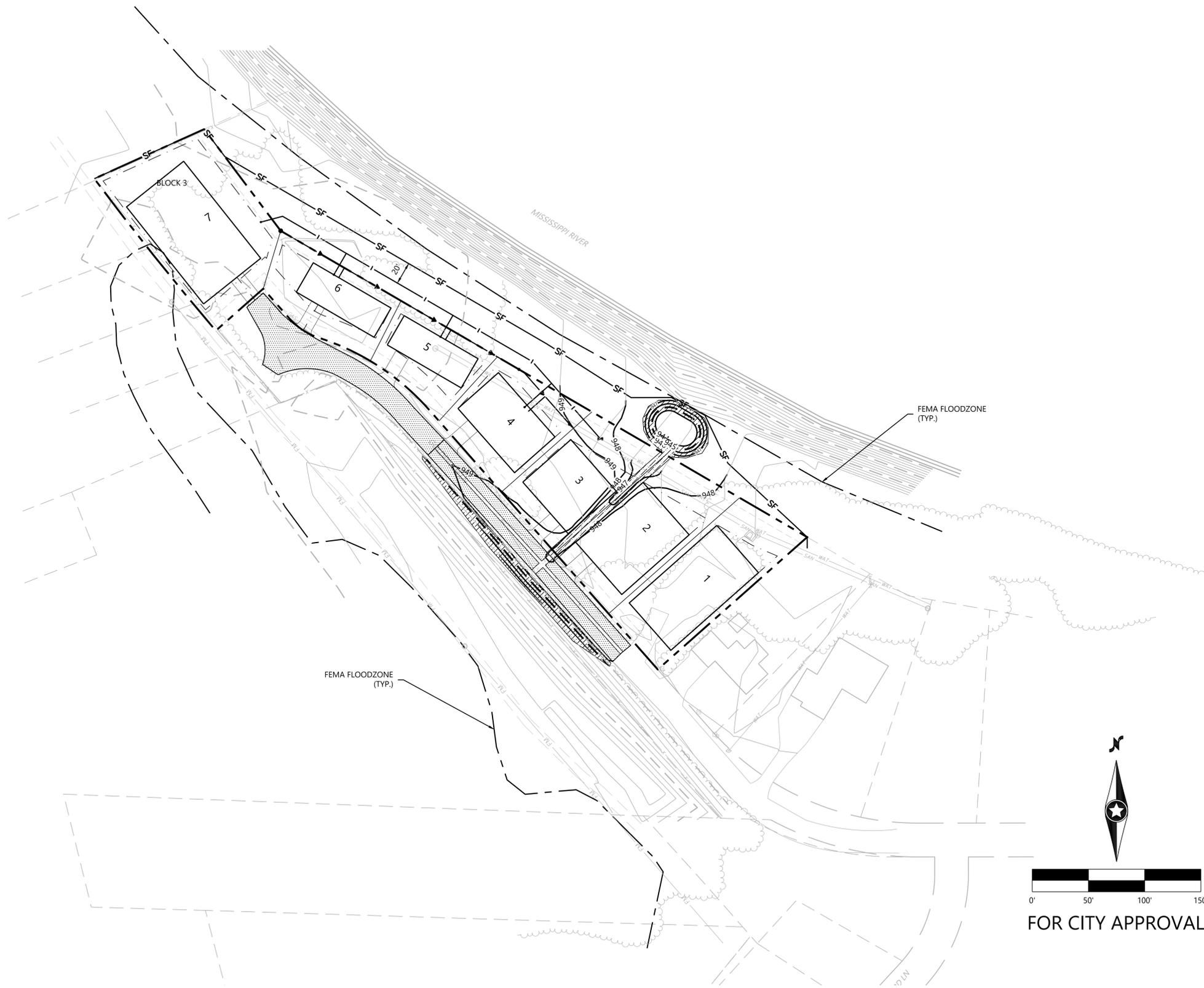
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EROSION CONTROL LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		INDEX CONTOUR
		INTERVAL CONTOUR
		POND NORMAL WATER LEVEL
		SILT FENCE
		STORM SEWER
		FLARED END SECTION (WITH RIPRAP)
		WATER MAIN
		SANITARY SEWER
		DRAIN TILE
		ROCK CONSTRUCTION ENTRANCE
		EROSION CONTROL BLANKET
		SOIL BORING LOCATION
		INLET PROTECTION

GENERAL EROSION CONTROL NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES.
2. ALL SILT FENCE AND OTHER EROSION CONTROL FEATURES SHALL BE IN-PLACE PRIOR TO ANY EXCAVATION/CONSTRUCTION AND SHALL BE MAINTAINED UNTIL VIABLE TURF OR GROUND COVER HAS BEEN ESTABLISHED. EXISTING SILT FENCE ON-SITE SHALL BE MAINTAINED AND OR REMOVED AND SHALL BE CONSIDERED INCIDENTAL TO THE GRADING CONTRACT. IT IS OF EXTREME IMPORTANCE TO BE AWARE OF CURRENT FIELD CONDITIONS WITH RESPECT TO EROSION CONTROL. TEMPORARY PONDING, DIKES, HAYBALES, ETC., REQUIRED BY THE CITY SHALL BE INCIDENTAL TO THE GRADING CONTRACT.
3. EROSION AND SILTATION CONTROL (ESC): THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR CONTROLLING ALL SILTATION AND EROSION OF THE PROJECT AREA. THE CONTRACTOR SHALL USE WHATEVER MEANS NECESSARY TO CONTROL THE EROSION AND SILTATION INCLUDING BUT NOT LIMITED TO: CATCH BASIN INSERTS, CONSTRUCTION ENTRANCES, EROSION CONTROL BLANKET, AND SILT FENCE. ESC SHALL COMMENCE WITH GRADING AND CONTINUE THROUGHOUT THE PROJECT UNTIL ACCEPTANCE OF THE WORK BY THE OWNER. THE CONTRACTOR'S RESPONSIBILITY INCLUDES ALL IMPLEMENTATION AS REQUIRED TO PREVENT EROSION AND THE DEPOSITING OF SILT. THE OWNER MAY DIRECT THE CONTRACTOR'S METHODS AS DEEMED FIT TO PROTECT PROPERTY AND IMPROVEMENTS. ANY DEPOSITION OF SILT OR MUD ON NEW OR EXISTING PAVEMENT OR IN EXISTING STORM SEWERS OR SWALES SHALL BE REMOVED AFTER EACH RAIN EVENT. AFFECTED AREAS SHALL BE CLEANED TO THE SATISFACTION OF THE OWNER, ALL AT THE EXPENSE OF THE CONTRACTOR. ALL TEMPORARY EROSION CONTROL SHALL BE REMOVED BY THE CONTRACTOR AFTER THE TURF IS ESTABLISHED.
4. ALL STREETS DISTURBED DURING WORKING HOURS MUST BE CLEANED AT THE END OF EACH WORKING DAY. A CONSTRUCTION ENTRANCE TO THE SITE MUST BE PROVIDED ACCORDING TO DETAILS TO REDUCE TRACKING OF DIRT ONTO PUBLIC STREETS.
5. WHEN INSTALLING END-OF-LINE FLARED END SECTIONS, BRING THE SILT FENCE UP & OVER THE FLARED END SECTIONS & COVER DISTURBED AREAS WITH RIP RAP. THE UPSTREAM FLARED END SECTIONS SHALL HAVE WOOD FIBER BLANKET INSTALLED ON THE DISTURBED SOILS.
6. ALL UNPAVED AREAS ALTERED DUE TO CONSTRUCTION ACTIVITIES MUST BE RESTORED WITH SEED AND MULCH, SOD, EROSION CONTROL BLANKET OR BE HARD SURFACE WITHIN 2 WEEKS OF COMPLETION OF CONSTRUCTION.
7. THE SITE MUST BE STABILIZED WITH A 25-151 SEED MIX AT 70-POUNDS PER ACRE AND TYPE I MULCH AT 2-TONS PER ACRE IN ACCORDANCE WITH MNDOT 2575 UNLESS OTHERWISE NOTED.
8. TEMPORARY SEEDING SHALL BE MN/DOT SEED MIX 22-111 AT 40-POUNDS PER ACRE AND TYPE I MULCH AT 2-TONS PER ACRE IN ACCORDANCE WITH MNDOT 2575 UNLESS OTHERWISE NOTED.
9. FOR AREAS WITH SLOPE OF 3:1 OR GREATER, RESTORATION WITH SOD OR EROSION CONTROL BLANKET IS REQUIRED.
10. ALL TEMPORARY STOCKPILES MUST HAVE SILT FENCE INSTALLED AROUND THEM TO TRAP SEDIMENT.
11. ALL CONSTRUCTION SHALL CONFORM TO LOCAL AND STATE RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
12. THE SITE MUST BE KEPT IN A WELL-DRAINED CONDITION AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY DITCHES, PIPING OR OTHER MEANS REQUIRED TO INSURE PROPER DRAINAGE DURING CONSTRUCTION. LOW POINTS IN ROADWAYS OR BUILDING PADS MUST BE PROVIDED WITH A POSITIVE OUTFLOW.
13. PUBLIC STREETS USED FOR HAULING SHALL BE KEPT FREE OF SOIL AND DEBRIS. STREET SWEEPING SHALL BE CONCURRENT WITH SITE WORK.



FOR CITY APPROVAL

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CLEARWATER ESTATES PLAT EIGHT

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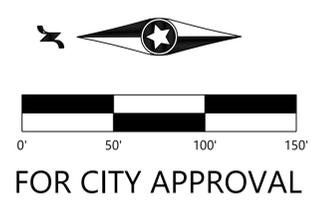
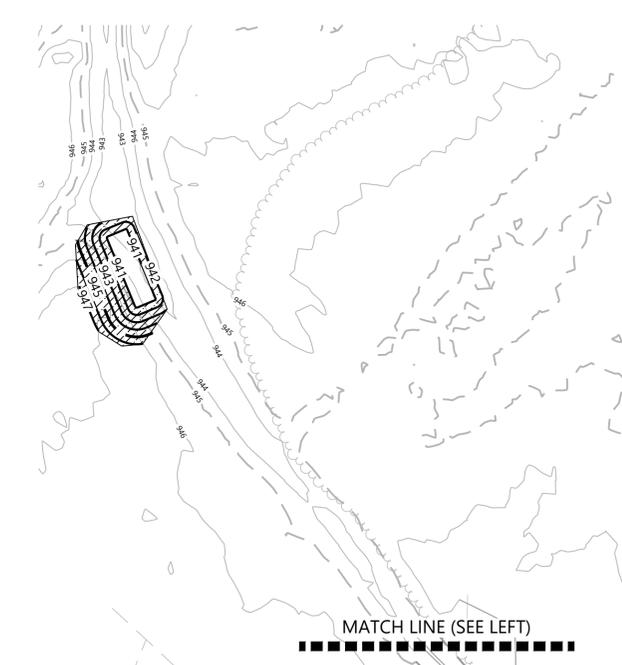
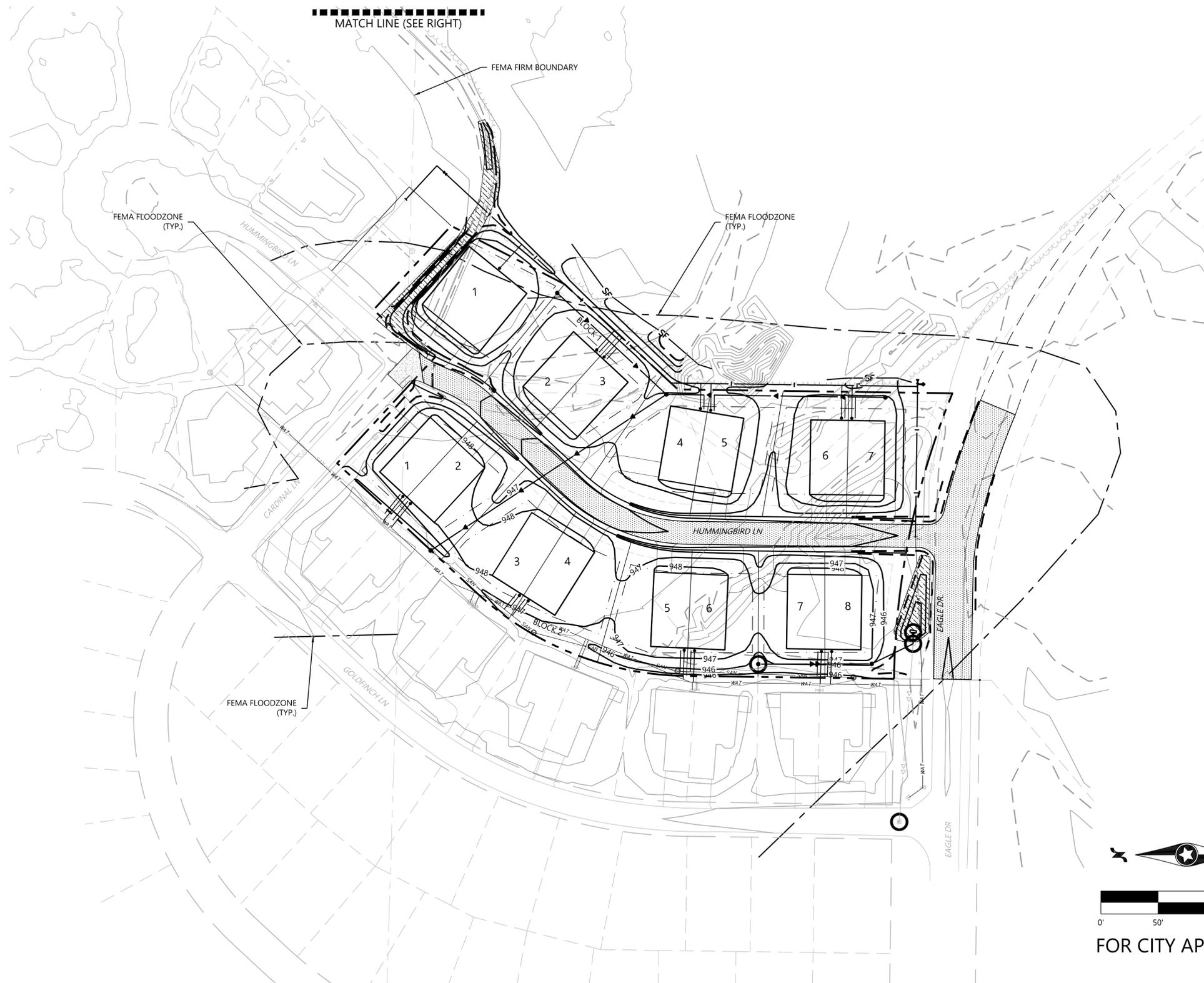
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**EROSION CONTROL PLAN
 NORTH**

SHEET NUMBER:
7 OF **14**
 DATE: 05/08/20

EROSION CONTROL LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		INDEX CONTOUR
		INTERVAL CONTOUR
		POND NORMAL WATER LEVEL
		SILT FENCE
		STORM SEWER
		FLARED END SECTION (WITH RIPRAP)
		WATER MAIN
		SANITARY SEWER
		DRAIN TILE
		ROCK CONSTRUCTION ENTRANCE
		EROSION CONTROL BLANKET
		SOIL BORING LOCATION
		INLET PROTECTION



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CLEARWATER ESTATES PLAT EIGHT

DESIGNED: WRH	INITIAL ISSUE: 04/08/19
CHECKED: WRH	REVISIONS:
DRAWN:	08/28/2019 - CLIENT COMMENTS
FIELD CREW:	05/08/2020 - CITY COMMENTS
FIELD WORK DATE:	

PREPARED FOR:
W. GOHMAN CONSTRUCTION COMPANY
 815 EAST COUNTY ROAD 75
 ST. JOSEPH, MN 56374

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
Brad C. Wilkening
 BRAD C. WILKENING
 DATE: 05/08/20 LICENSE NO. 26908

CLEARWATER ESTATES PLAT EIGHT
 CLEARWATER, MN

Westwood
 Phone (320) 253-9495 3701 12th Street North, Suite 206
 Fax (320) 358-2001 St. Cloud, MN 56303
 Toll Free (800) 270-9495 westwoods.com
 Westwood Professional Services, Inc.

EROSION CONTROL PLAN SOUTH

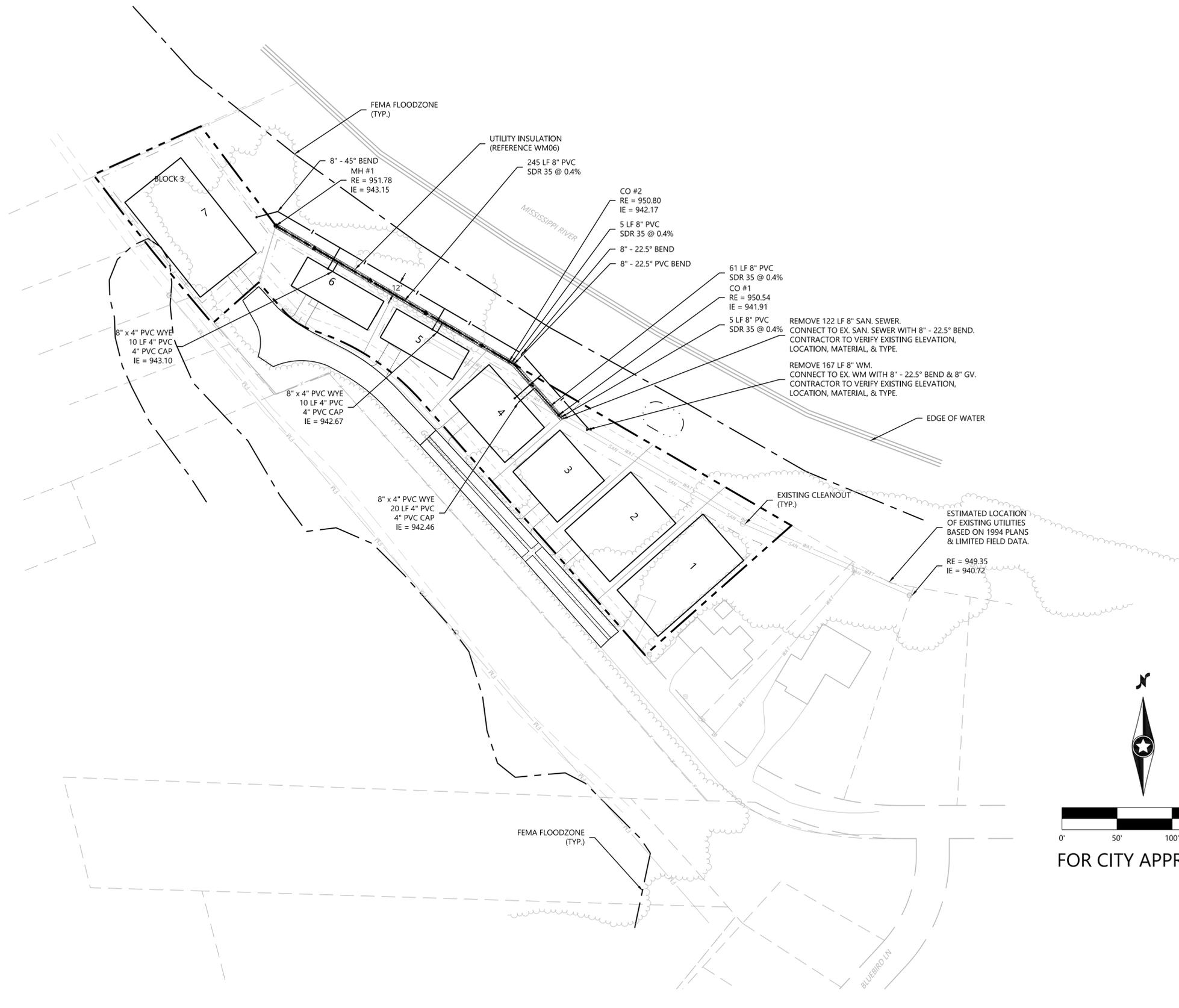
SHEET NUMBER:
8 OF **14**
 DATE: 05/08/20

UTILITY LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		EASEMENT LINE
		SANITARY SEWER
		SANITARY SEWER FORCE MAIN
		STORM SEWER
		WATER MAIN
		HYDRANT
		GAS
		UNDERGROUND ELECTRIC
		CABLE TELEVISION
		DRAIN TILE
		GATE VALVE
		FLARED END SECTION (WITH RIPRAP)
		LIGHT POLE

GENERAL UTILITY NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES.
- ALL SANITARY SEWER, STORM SEWER AND WATER MAIN MATERIAL AND INSTALLATIONS SHALL BE PER CITY REQUIREMENTS, MINNESOTA PLUMBING CODE, AND IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION AND SANITARY SEWER AND STORM SEWER INSTALLATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
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- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF DOORWAYS, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY CONNECTION LOCATIONS.
- ALL PRIVATE UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL COORDINATE THE SERVICE LINE CONSTRUCTION WITH THE UTILITY COMPANIES.
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- PROVIDE WATER MAIN THRUST RESTRAINTS PER CITY STANDARD REQUIREMENTS.
- A MINIMUM VERTICAL SEPARATION OF 18 INCHES IS REQUIRED AT ALL WATER LINE CROSSINGS WITH SANITARY SEWER OR STORM SEWER. THE WATER LINE SHALL NOT HAVE JOINTS OR CONNECTION WITHIN 10-FEET OF THE CROSSING. INSULATE CROSSINGS WITH STORM SEWER.
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- ALL NONCONDUCTIVE PIPE SHALL BE INSTALLED WITH A LOCATE (TRACER) WIRE PER MINNESOTA RULES, PART 7560.0150.
- AFTER CONSTRUCTION IS COMPLETED, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN AS-BUILT RECORD OF UTILITY CONSTRUCTION. THE AS-BUILT SHALL INCLUDE LOCATION AND LENGTH DEVIATIONS OR CHANGES TO THE PLAN. CONTRACTOR TO VERIFY WITH OWNER OR ENGINEER WHETHER A PLAN WITH POST-CONSTRUCTION ELEVATIONS IS REQUIRED.



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CLEARWATER ESTATES PLAT EIGHT

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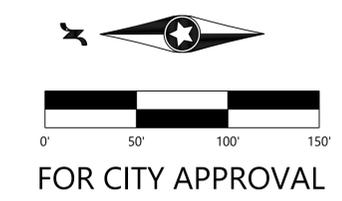
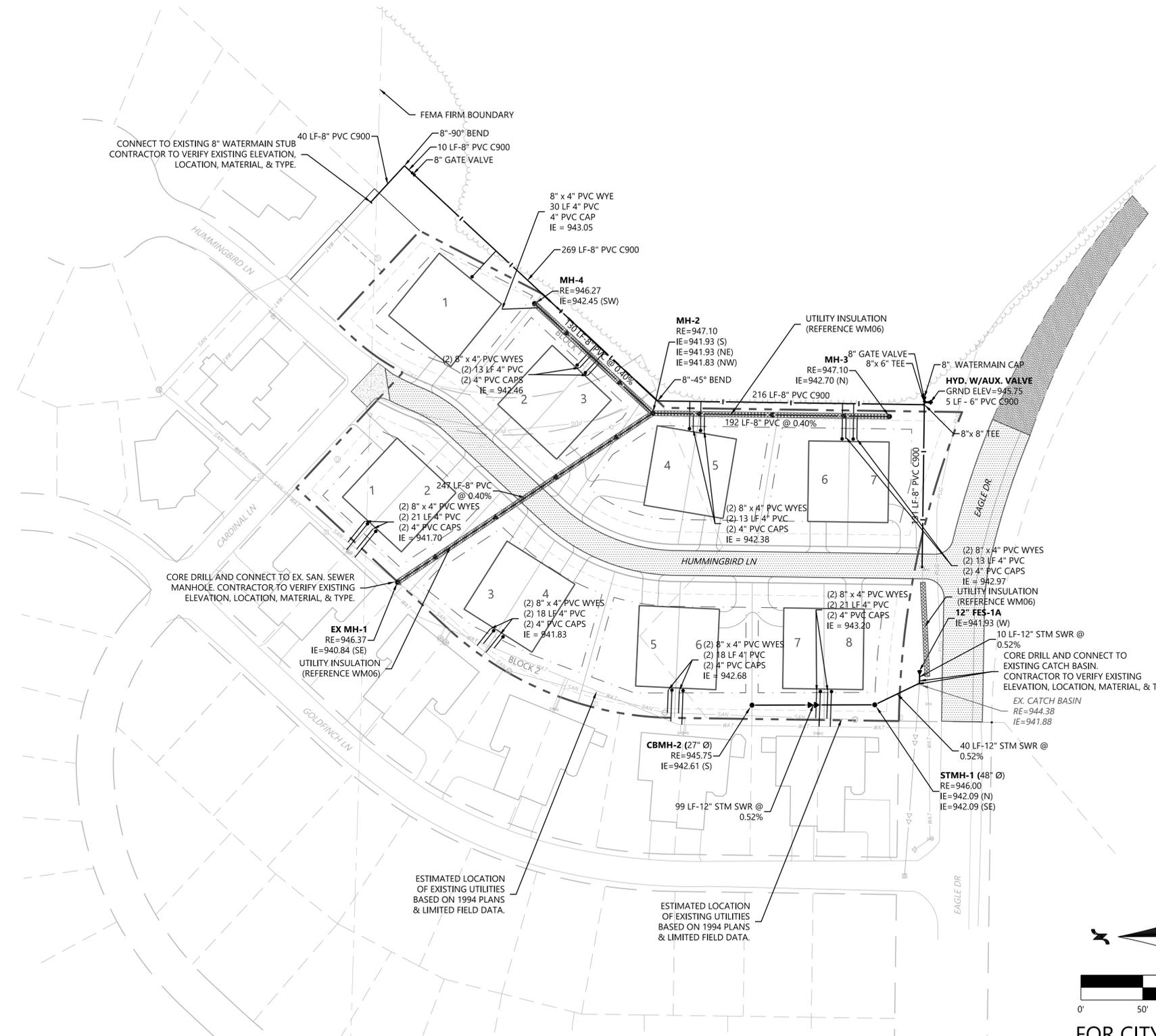
SHEET NUMBER:
9 OF **14**
UTILITY PLAN NORTH
 DATE: 05/08/20

UTILITY LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		EASEMENT LINE
		SANITARY SEWER
		SANITARY SEWER FORCE MAIN
		STORM SEWER
		WATER MAIN
		HYDRANT
		GAS
		UNDERGROUND ELECTRIC
		CABLE TELEVISION
		DRAIN TILE
		GATE VALVE
		FLARED END SECTION (WITH RIPRAP)
		LIGHT POLE

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CLEARWATER ESTATES PLAT EIGHT

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815 EAST COUNTY ROAD 75
ST. JOSEPH, MN 56374

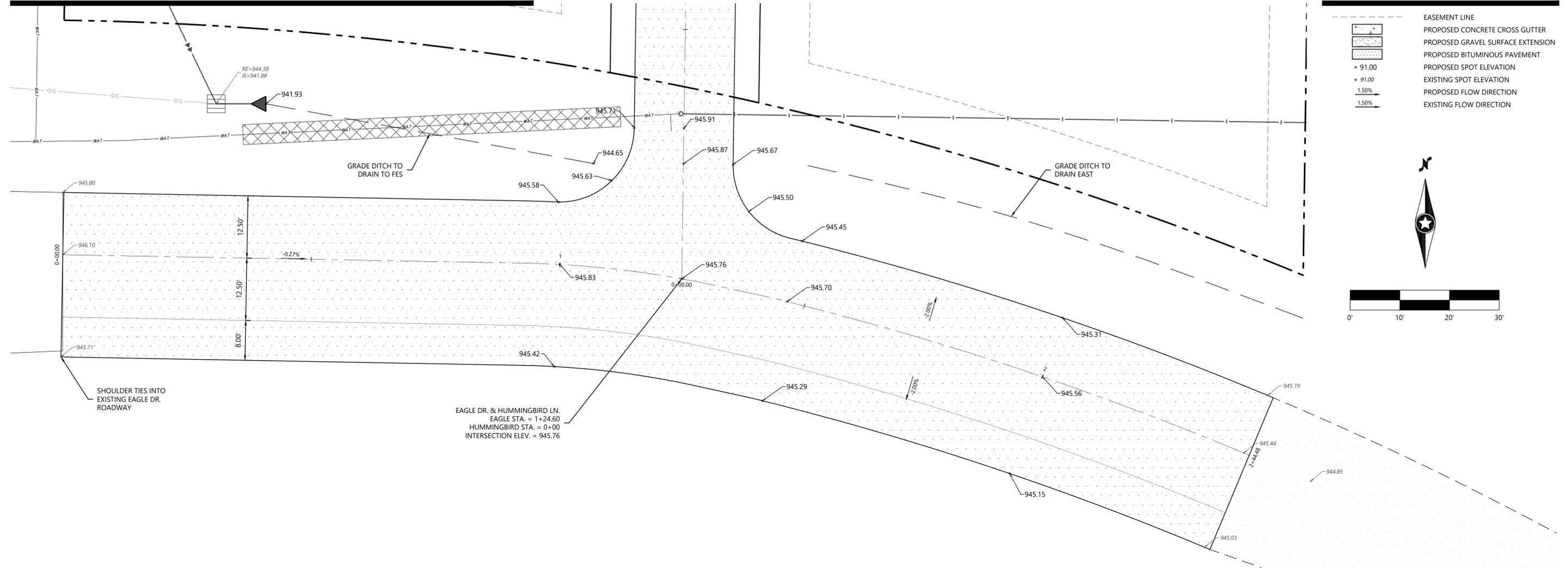
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BRAD C. WILKENING
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CLEARWATER, MN

Westwood
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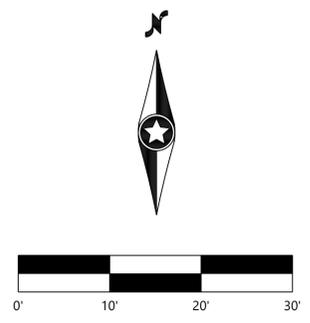
SHEET NUMBER:
10 OF **14**
UTILITY PLAN SOUTH
DATE: 05/08/20

EAGLE DR. & HUMMINGBIRD LN.

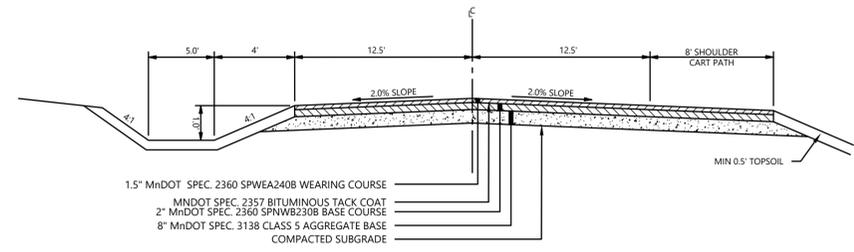


LEGEND

- EASEMENT LINE
- PROPOSED CONCRETE CROSS GUTTER
- PROPOSED GRAVEL SURFACE EXTENSION
- PROPOSED BITUMINOUS PAVEMENT
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- PROPOSED FLOW DIRECTION
- EXISTING FLOW DIRECTION



EAGLE DR. STREET SECTION



PAVEMENT SECTIONS SHOWN ARE FOR PLANNING PURPOSES ONLY.
 REFER TO GEOTECHNICAL REPORT FOR FINAL PAVEMENT SECTIONS.

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CLEARWATER ESTATES PLAT EIGHT

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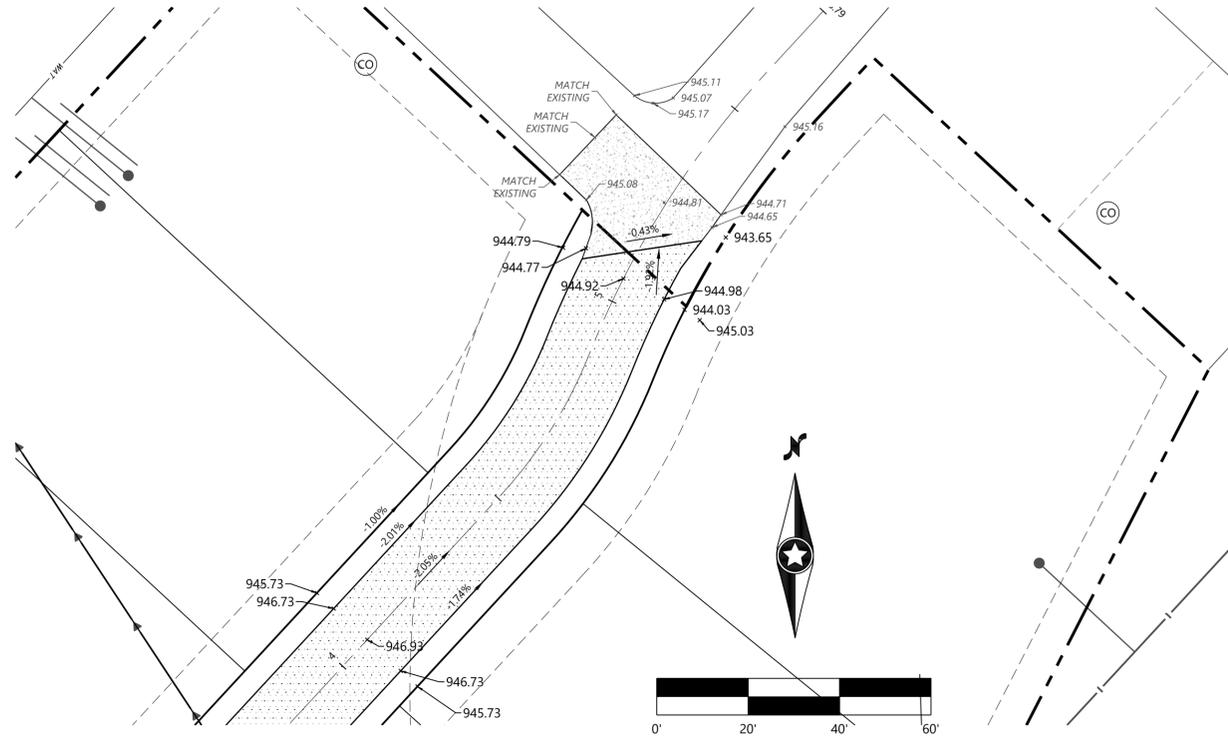
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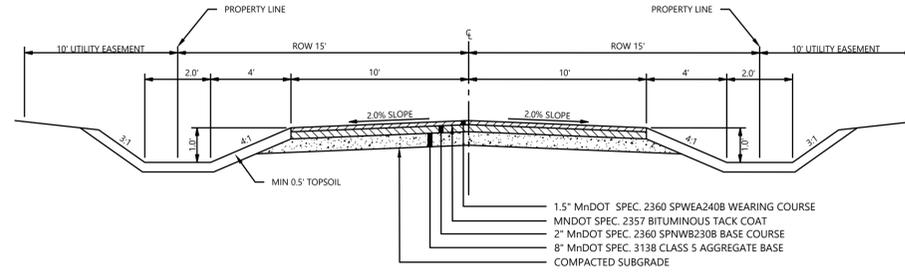
INTERSECTION DETAILS

SHEET NUMBER:
11 OF **14**
 DATE: 05/08/20

HUMMINGBIRD LN. & CARDINAL LN.



HUMMINGBIRD LN. STREET SECTION

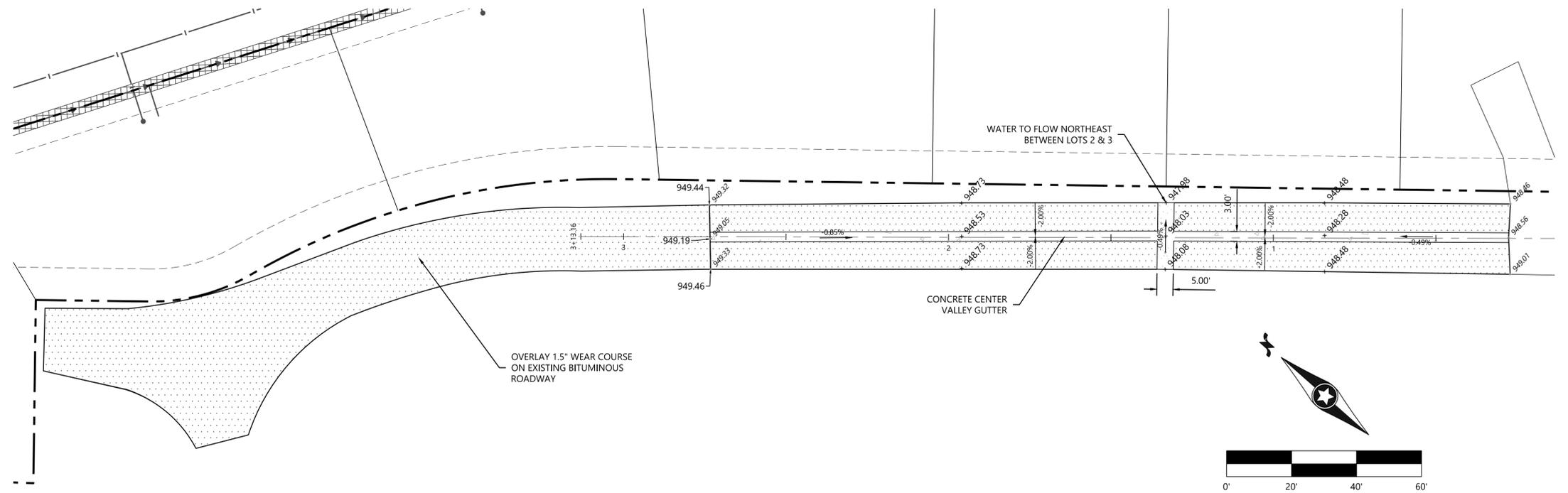


PAVEMENT SECTIONS SHOWN ARE FOR PLANNING PURPOSES ONLY.
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LEGEND

- EASEMENT LINE
- PROPOSED CONCRETE CROSS GUTTER
- PROPOSED GRAVEL SURFACE EXTENSION
- PROPOSED BITUMINOUS PAVEMENT
- * 91.00 PROPOSED SPOT ELEVATION
- 91.00 EXISTING SPOT ELEVATION
- 1.50% PROPOSED FLOW DIRECTION
- 1.50% EXISTING FLOW DIRECTION

GOLDFINCH LN.



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CLEARWATER ESTATES PLAT EIGHT

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 ST. JOSEPH, MN 56374

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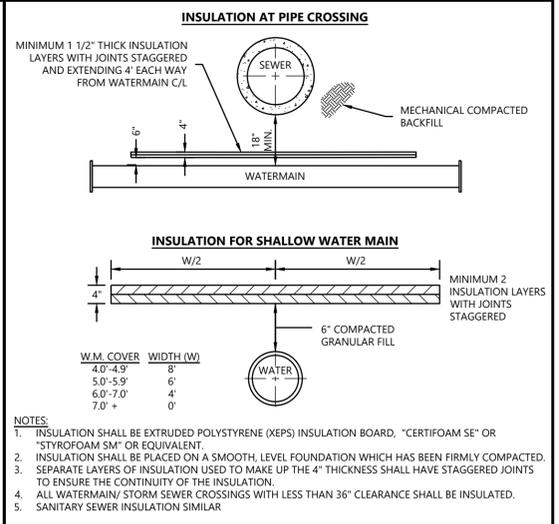
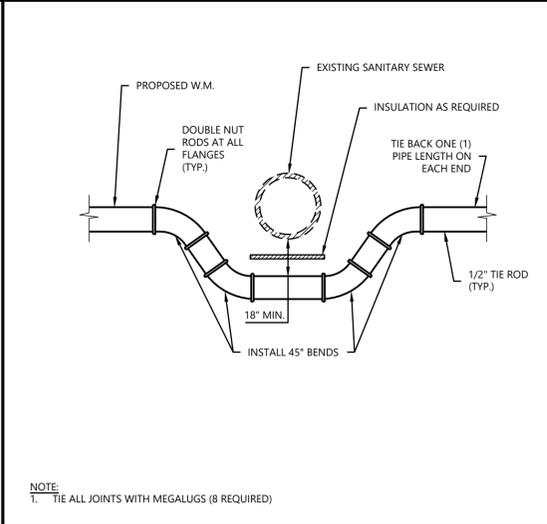
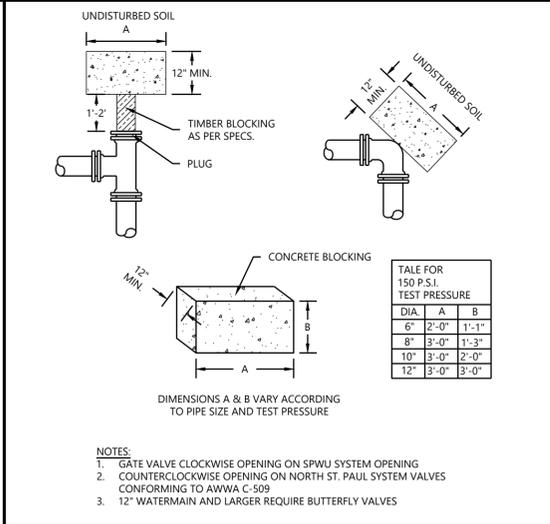
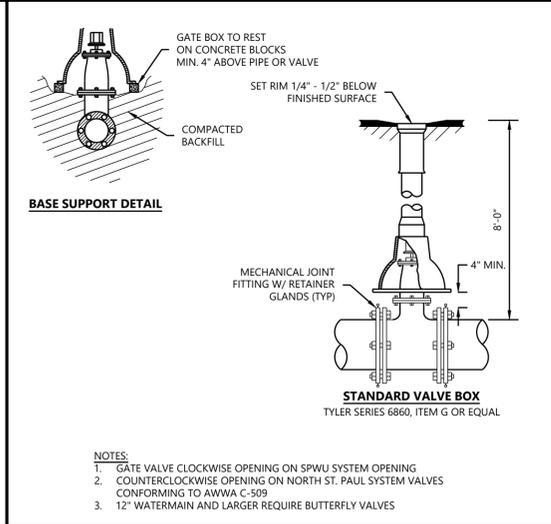
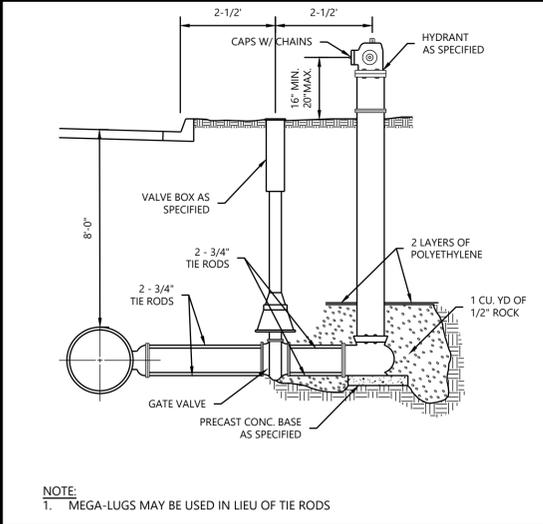
INTERSECTION DETAILS

SHEET NUMBER:

12 OF 14

DATE: 05/08/20

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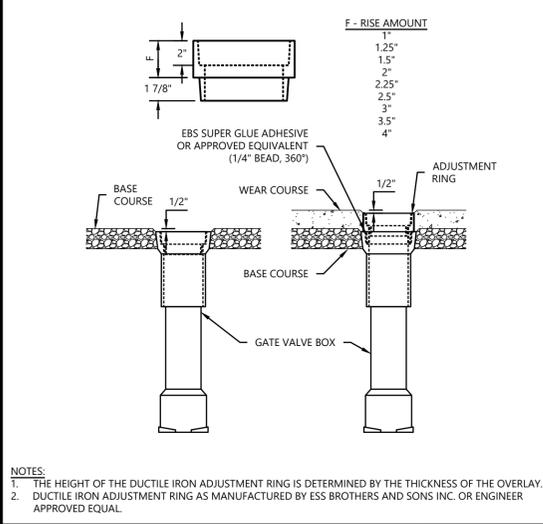
Westwood FIRE HYDRANT
LAST REVISED: 04/21/17
WM01

Westwood GATE VALVE
LAST REVISED: 04/21/17
WM02

Westwood WATERMAIN BLOCKING
LAST REVISED: 08/08/17
WM04

Westwood WATERMAIN CROSSING
LAST REVISED: 08/08/17
WM05

Westwood WATERMAIN INSULATION
LAST REVISED: 08/08/17
WM06



THRUST RESTRAINT

ALL WATER MAIN, VALVES, SERVICES, FITTINGS, STUBS, EXTENSIONS, BLIND FLANGES, HYDRANT, AND PLUGS USED FOR RETAINING WATER PRESSURE MUST BE TIED WITH "MEGALUG" JOINT RESTRAINTS OR EXCEPTED EQUAL BASED UPON A 150 PSI TEST PRESSURE AND 8" COVER. THE FOLLOWING SHOWS THE MINIMUM LENGTH OF PIPE EACH WAY OF A FITTING TO BE RESTRAINED. JOINT RESTRAINTS TO BE EPOXY COATED AS REQUIRED ON WATER MAIN FITTINGS.

PIPE DIAMETER	DEAD END TREE BRANCH OR 90° BEND	45° BEND	22-1/2° BEND
6"	23 LF	7 LF	0 LF
8"	30 LF	10 LF	2 LF
10"	38 LF	12 LF	3 LF
12"	50 LF	14 LF	3 LF

NOTES:
1. WHERE RESTRAINED JOINTS ARE REQUIRED AND THE PIPE IS IN A CASING NEAR THE FITTING TO BE RESTRAINED, THE LENGTH OF PIPE IN THE CASING SHALL NOT BE INCLUDED IN THE LENGTH OF PIPE NECESSARY TO DEVELOP SUFFICIENT SOIL FRICTION TO OVERCOME THRUST.
2. ALL BARE METALS SHALL HAVE TWO COATS OF BITUMASTIC OR ACCEPTED EQUAL (AEROSOL SPRAY IS NOT ACCEPTABLE).
3. ALL BOLTS BELOW GRADE SHALL BE 304 STAINLESS STEEL.
4. ALL JOINT TIE RODS SHALL BE 304 STAINLESS STEEL.

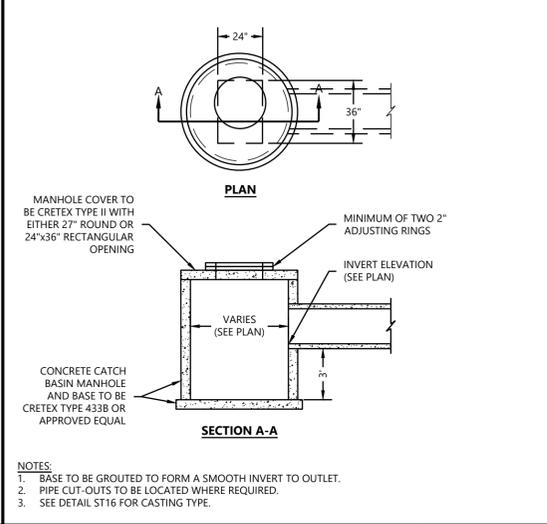
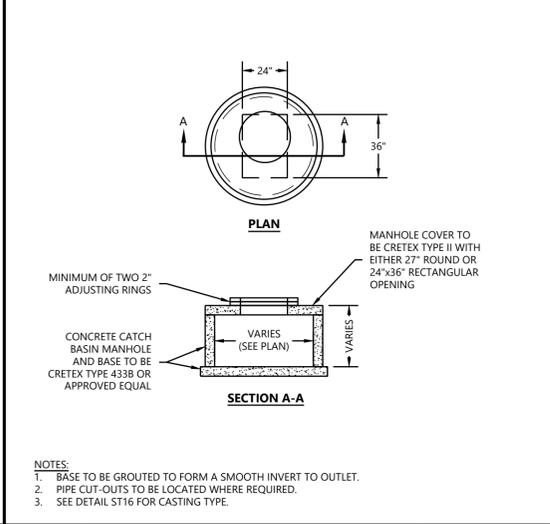


TABLE OF QUANTITIES

DIA. (IN)	CLASS I (IN)	MINIMUM DEPTH (IN)			
		12"	18"	24"	30"
12	8	3.0	0.2	4.4	0.3
14	8	3.2	0.2	4.6	0.3
16	8	3.4	0.2	4.8	0.3
18	8	3.6	0.2	5.0	0.3
20	8	3.8	0.2	5.2	0.3
22	8	4.0	0.2	5.4	0.3
24	8	4.2	0.2	5.6	0.3
26	8	4.4	0.2	5.8	0.3
28	8	4.6	0.2	6.0	0.3
30	8	4.8	0.2	6.2	0.3
32	8	5.0	0.2	6.4	0.3
34	8	5.2	0.2	6.6	0.3
36	8	5.4	0.2	6.8	0.3
38	8	5.6	0.2	7.0	0.3
40	8	5.8	0.2	7.2	0.3

SECTION A-A

SECTION B-B

NOTES:
1. FOR PIPES GREATER OR EQUAL TO 30", USE 1.5" FILTER MATERIALS.
2. GEOTEXTILE FABRIC SHALL COVER THE BOTTOM AND SIDES OF THE AREA EXCAVATED FOR THE RIPRAP, GRANULAR FILTER MATERIALS.
3. DIMENSION "E" EQUALS INSIDE WIDTH OF APRON.
4. GRANULAR FILTER: MNDOT 3733, MAY BE USED AS A CUSHION LAYER. PLACE FILTER PER MNDOT 2511.
5. GRANULAR FILTER OR RIPRAP, MNDOT 3601, TO EXTEND UNDER ENTIRE OPEN PORTION OF PIPE APRON. DEPTH OF MATERIAL UNDER APRON SHALL MATCH RIPRAP DEPTH. WHEN USING RIPRAP INCREASE RIPRAP QUANTITY ACCORDINGLY AND PLACE A 2" LAYER OF 1/2" CRUSHED ROCK UNDER THE APRON TO AID IN GRADING FOR APRON PLACEMENT.
6. CONTRACTOR SHALL PLACE RIPRAP, PULVERIZED TOPSOIL, SEED AND WOODFIBER BLANKET IMMEDIATELY AFTER PIPE IS INSTALLED. EXTEND AREA TO MATCH UNDISTURBED SOIL.

Westwood GATE VALVE BOX ADJUSTMENT RING
LAST REVISED: 08/08/17
WM12

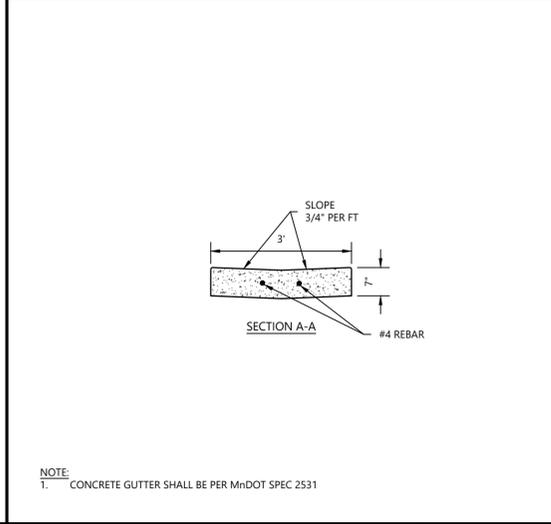
Westwood WATERMAIN DETAIL AND TIE SCHEDULE TABLE
LAST REVISED: 08/08/17
WM14

Westwood STANDARD MANHOLE
LAST REVISED: 08/08/17
ST03

Westwood CATCH BASIN (SUMP)
LAST REVISED: 08/08/17
ST04

Westwood RIPRAP AT OUTLETS
LAST REVISED: 08/08/17
ST05

STRUCTURE LOCATION	CASTING TYPE
CURB & GUTTER	R-3067-L
CURB & GUTTER @ LOW POINT	R-3067-VB
SURMOUNTABLE CURB & GUTTER AT DRIVEWAY LOCATION	R-3501-R
STMH IN PAVEMENT OR GREEN SPACE	R-1642 STAMPED "STORM SEWER"
CBMH IN PAVEMENT	R-2535
CBMH IN GREEN SPACE	R-4342
CBMH IN VALLEY GUTTER	R-3362-L



Westwood STORM SEWER CASTING SCHEDULE
LAST REVISED: 08/11/17
ST16

Westwood CONCRETE VALLEY GUTTER
LAST REVISED: 04/21/17
S152

INFILTRATION BASIN NOTES

- BASIN EXCAVATION AND PIPE INSTALLATION MAY TAKE PLACE BEFORE CURB INSTALLATION. ALL OTHER BASIN CONSTRUCTION MUST WAIT UNTIL FINAL SITE LANDSCAPING. PLACE SAND BAGS OR SIMILAR ITEM IN CURB CUTS TO PRE-FILTER STORM WATER UNTIL PLANTS ARE ESTABLISHED IN BASINS. MAINTAIN INLET PROTECTION ON DOWN STREAM INLETS UNTIL BASINS ARE ON-LINE.
- BASIN EXCAVATION SHALL BE WITH TOOTHED-BUCKETS TO SCARIFY THE BOTTOM.
- PLACE SILT FENCE AROUND BASINS AS SHOWN IMMEDIATELY AFTER BASIN CONSTRUCTION.
- BASINS MUST BE TESTED FOR INFILTRATION RATE AFTER TOTAL SITE STABILIZATION. A DUAL RING INFILTROMETER SHALL BE USED FOR TESTING. MINIMUM INFILTRATION RATE IS 1-INCH PER HOUR. IF BASIN DOES NOT MEET INFILTRATION RATE, CONTRACTOR MUST TAKE CORRECTIVE ACTION UNTIL MINIMUM INFILTRATION RATE IS MET. ALL TESTING AND CORRECTIVE ACTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE INCIDENTAL TO THE CONTRACT, WITH NO DIRECT COMPENSATION MADE.

DESIGNED: WRH
CHECKED: WRH
DRAWN:
FIELD CREW:
FIELD WORK DATE:

INITIAL ISSUE: 04/08/19
REVISIONS:
08/28/2019 - CLIENT COMMENTS
05/08/2020 - CITY COMMENTS

PREPARED FOR:
W. GOHMAN CONSTRUCTION COMPANY
815 EAST COUNTY ROAD 75
ST. JOSEPH, MN 56374

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA
Brad C. Wilkenning
BRAD C. WILKENNING
DATE: 05/08/20 LICENSE NO. 26908

CLEARWATER ESTATES PLAT EIGHT
CLEARWATER, MN

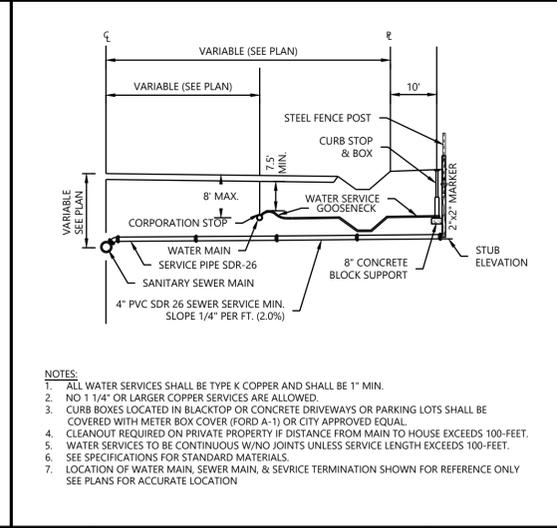
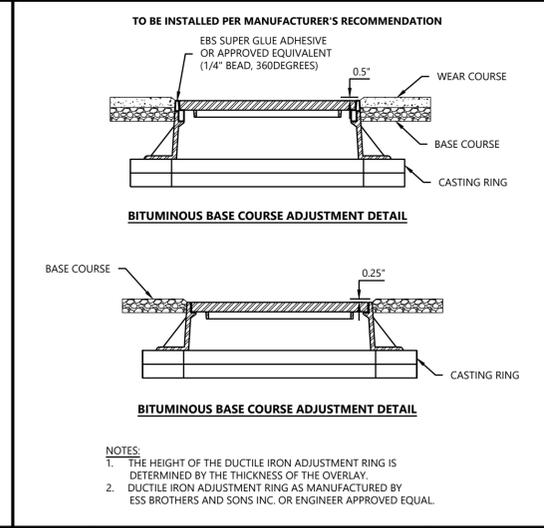
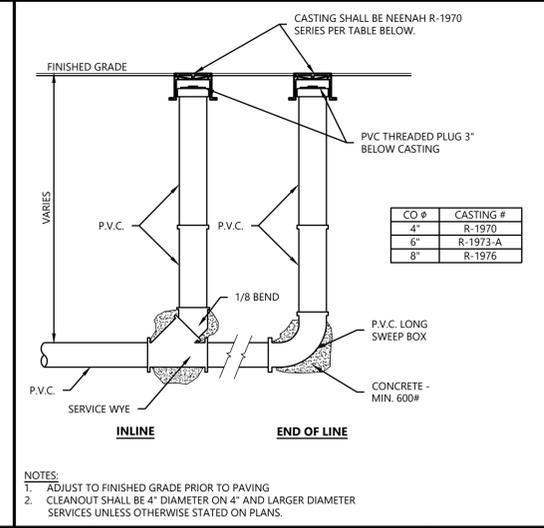
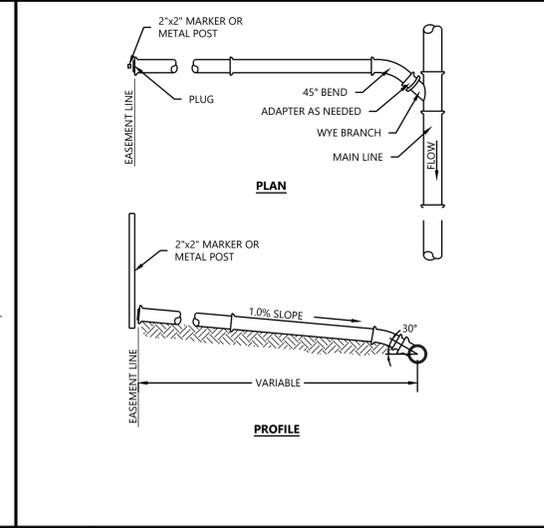
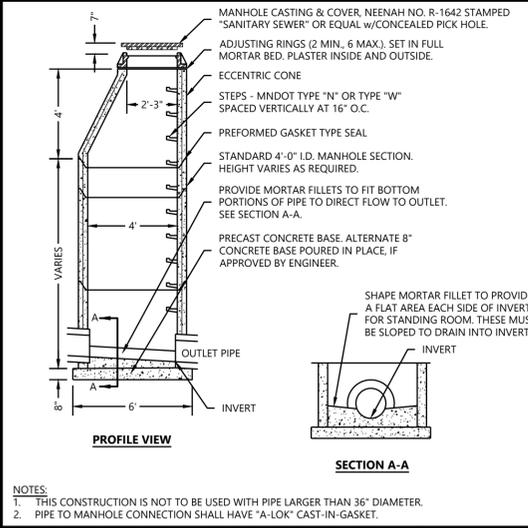
Westwood
Phone (320) 253-9495 3701 12th Street North, Suite 206
Fax (320) 358-2001 St. Cloud, MN 56303
Toll Free (800) 270-9495 westwoods.com
Westwood Professional Services, Inc.

DETAILS

SHEET NUMBER:

13 OF 14

DATE: 05/08/20



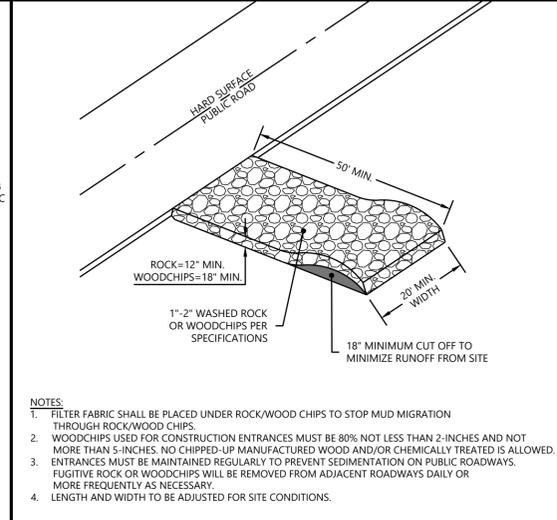
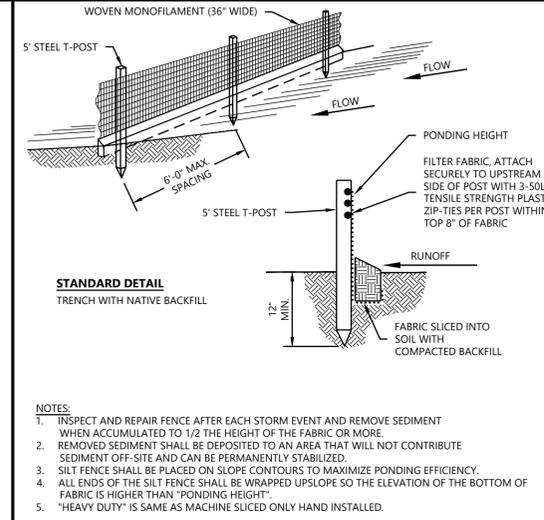
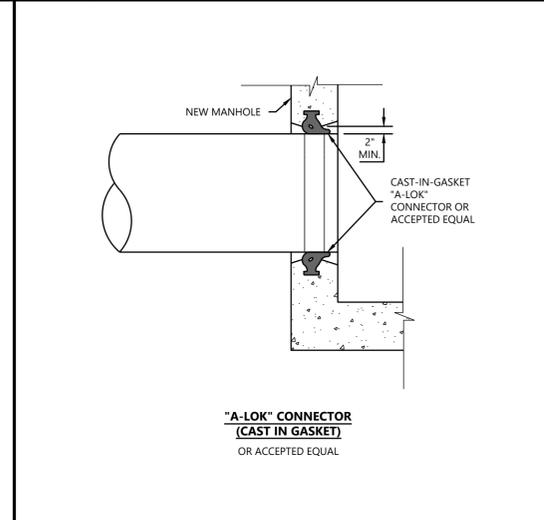
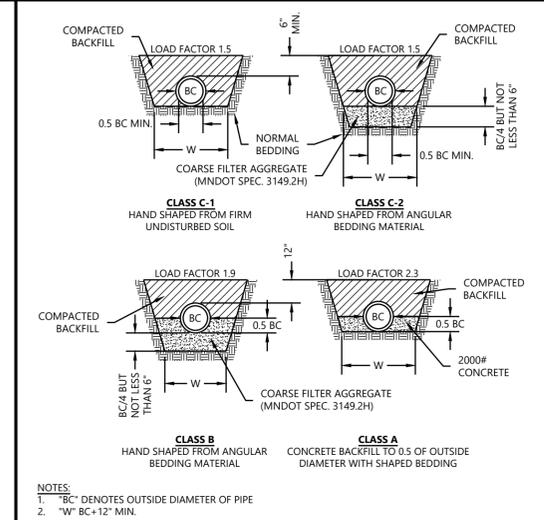
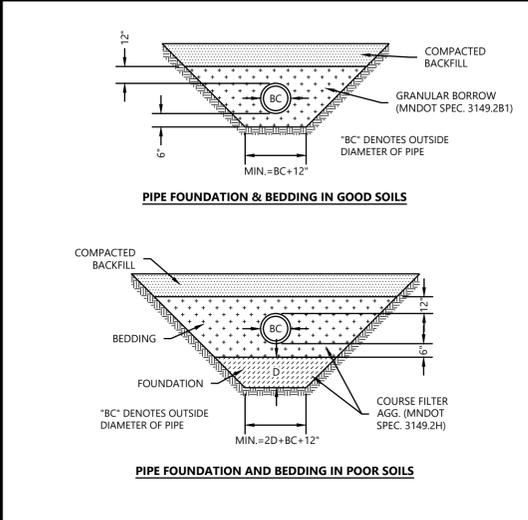
Westwood SANITARY MANHOLE PRECAST MANHOLE WITH ADJUSTABLE RINGS SS01 LAST REVISED: 08/11/17

Westwood SANITARY SEWER SERVICE TYPE 1 SS02 LAST REVISED: 08/11/17

Westwood SANITARY SEWER SERVICE CLEANOUT SS06A LAST REVISED: 08/15/17

Westwood MANHOLE CASTING ADJUSTMENT RING SS07 LAST REVISED: 08/15/17

Westwood SEWER AND WATER SERVICE CONNECTION SS08 LAST REVISED: 08/15/17



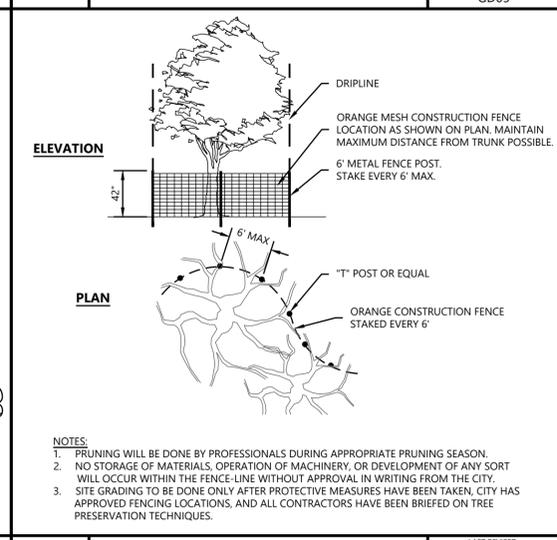
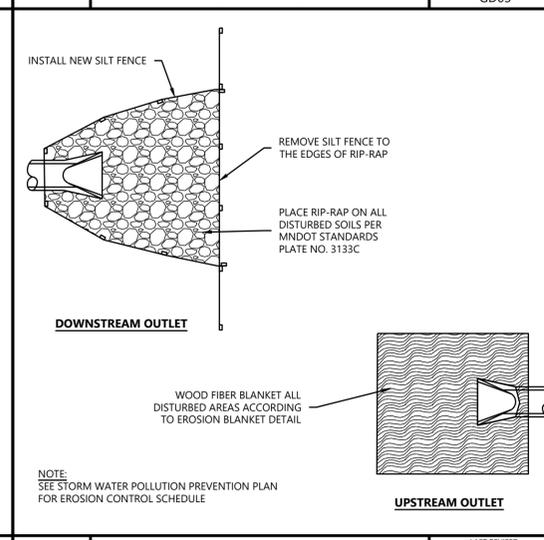
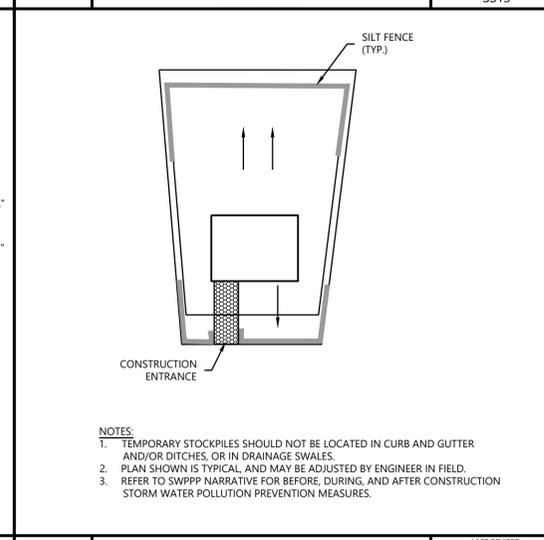
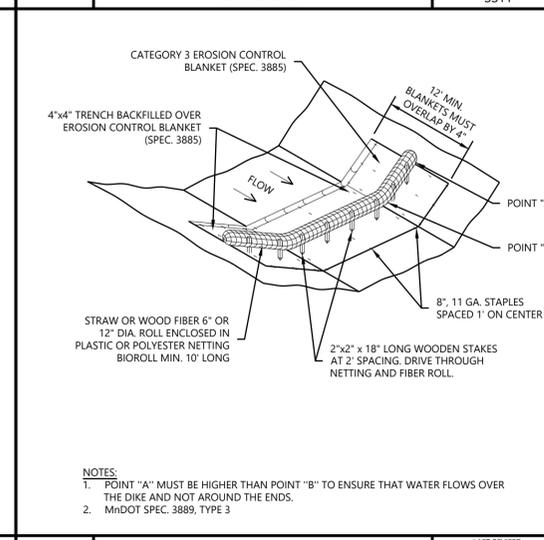
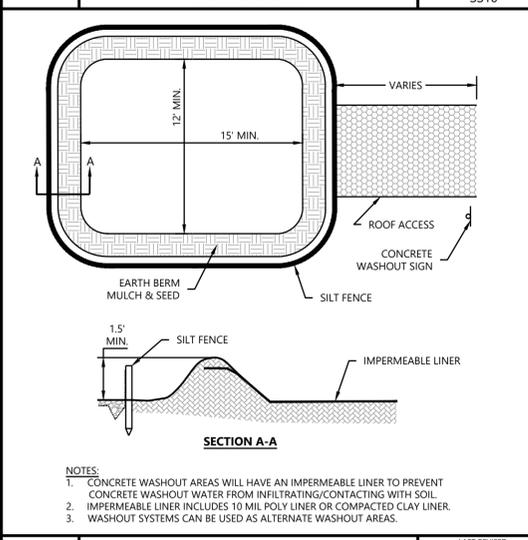
Westwood PIPE BEDDING DETAILS FOR PVC & HDPE SS10 LAST REVISED: 08/15/17

Westwood PIPE BEDDING DETAILS FOR RCP & DIP SS11 LAST REVISED: 08/15/17

Westwood PIPE TO NEW MANHOLE CONNECTION SS13 LAST REVISED: 08/15/17

Westwood MACHINE SLICED SILT FENCE (HEAVY DUTY) GD03 LAST REVISED: 08/15/17

Westwood CONSTRUCTION ENTRANCE GD05 LAST REVISED: 08/15/17



Westwood CONCRETE WASHOUT AREA GD08 LAST REVISED: 08/15/17

Westwood TEMPORARY BIOROLL BLANKET SYSTEM (DITCH APPLICATION) GD23 LAST REVISED: 08/15/17

Westwood LOT EROSION CONTROL GUIDANCE GD26 LAST REVISED: 08/15/17

Westwood EROSION CONTROL AT FLARED END SECTIONS GD27 LAST REVISED: 08/15/17

Westwood TREE PROTECTION GD36 LAST REVISED: 08/15/17

DESIGNED: WRH

CHECKED: WRH

DRAWN:

FIELD CREW:

FIELD WORK DATE:

INITIAL ISSUE: 04/08/19

REVISIONS:

08/28/2019 - CLIENT COMMENTS

05/08/2020 - CITY COMMENTS

PREPARED FOR:

W. GOHMAN CONSTRUCTION COMPANY

815 EAST COUNTY ROAD 75
ST. JOSEPH, MN 56374

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA

Brad C. Wilkening

BRAD C. WILKENING

DATE: 05/08/20 LICENSE NO. 26908

Westwood

Phone (320) 253-9495 3701 12th Street North, Suite 206
Fax (320) 358-2001 St. Cloud, MN 56303
Toll Free (800) 270-9495 westwoods.com
Westwood Professional Services, Inc.

CLEARWATER ESTATES PLAT EIGHT

CLEARWATER, MN

SHEET NUMBER: 14 OF 14

DATE: 05/08/20

811 or call811.com

Common Ground Alliance

CLEARWATER ESTATES PLAT EIGHT

N:\014561.00\DWG\CIVIL\0014561.00D02.DWG

PRELIMINARY PLAT OF: CLEARWATER ESTATES PLAT EIGHT

LOT	BLOCK	AREA (SF +/-)
1	1	12,115
2	1	6,878
3	1	6,424
4	1	7,776
5	1	6,969
6	1	7,209
7	1	8,004
1	2	6,811
2	2	6,490
3	2	7,538
4	2	7,787
5	2	7,326
6	2	6,638
7	2	6,406
8	2	7,078

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	185.00	50.38	50.23	N 35°00'22" E	15°36'14"

LEGAL DESCRIPTION

That part of Outlot E and I, CLEARWATER ESTATES, and that part of Outlot A, CLEARWATER ESTATES PLAT THREE, according to the recorded plats thereof, Wright County, Minnesota, described as follows:
Commencing at the southeast corner of Lot 10, Block 2, CLEARWATER ESTATES PLAT FOUR, according to the recorded plat thereof, Wright County, Minnesota; thence North 00 degrees 48 minutes 29 seconds East, plat bearing, along the easterly line of said Block 2, a distance of 183.16 feet; thence northerly and northeasterly 201.59 feet, along said easterly line, along a tangential curve, concave to the southeast, having a radius of 275.00 feet and a delta angle of 42 degrees 00 minutes 00 seconds; thence North 42 degrees 48 minutes 29 seconds East, along said easterly line, tangent to last described curve, 165.44 feet to the northeasterly line of said Outlot I; thence South 47 degrees 11 minutes 31 seconds East, along said northeasterly line and its southeasterly extension, 126.78 feet, to a westerly line of said Outlot A; thence northeasterly 50.38 feet, along said westerly line, along a non-tangential curve, concave to the southeast, having a radius of 185.00 feet and a central angle of 15 degrees 36 minutes 14 seconds, the chord of said curve bears North 35 degrees 00 minutes 22 seconds East with a chord length of 50.23 feet; thence North 42 degrees 48 minutes 29 seconds East, along said westerly line, 17.88 feet, to a westerly corner of said Outlot A; thence South 47 degrees 11 minutes 31 seconds East, along a northerly line of said Outlot A, 100.00 feet, to a westerly corner of said Outlot A; thence South 27 degrees 10 minutes 55 seconds West, 111.52 feet; thence South 42 degrees 48 minutes 29 seconds West, 135.29 feet; thence South 00 degrees 48 minutes 29 seconds West, 240.38 feet, to a southerly line of said Outlot A; thence northwesterly 256.00 feet, along said southerly line, along a non-tangential curve, concave to the south, having a radius of 679.99 feet and a central angle of 21 degrees 34 minutes 14 seconds, the chord of said curve bears North 78 degrees 24 minutes 24 seconds West with a chord length of 254.49 feet, to the point of beginning.

Total Acreage of Proposed Blocks 1 and 2 on Sheet 1 = 2.89 +/- Acres
Total Acreage of Plat = 4.42 +/- Acres

Owner/Developer of Record:
Clearwater Development Inc.
P.O. Box 370
Clearwater, MN 55320

FIRM map number 270536 0001B has an effective date of 11-01-1979. Zone C is considered to be an area of minimal flooding. Zone A5 is an area of 100-year flood with the base flood elevation and flood hazard factors determined.

FIRM map number 270534 0003B has an effective date of 08-04-1988. Zone X is considered areas of 500-year flood; areas of 100-year flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 100-year flood.

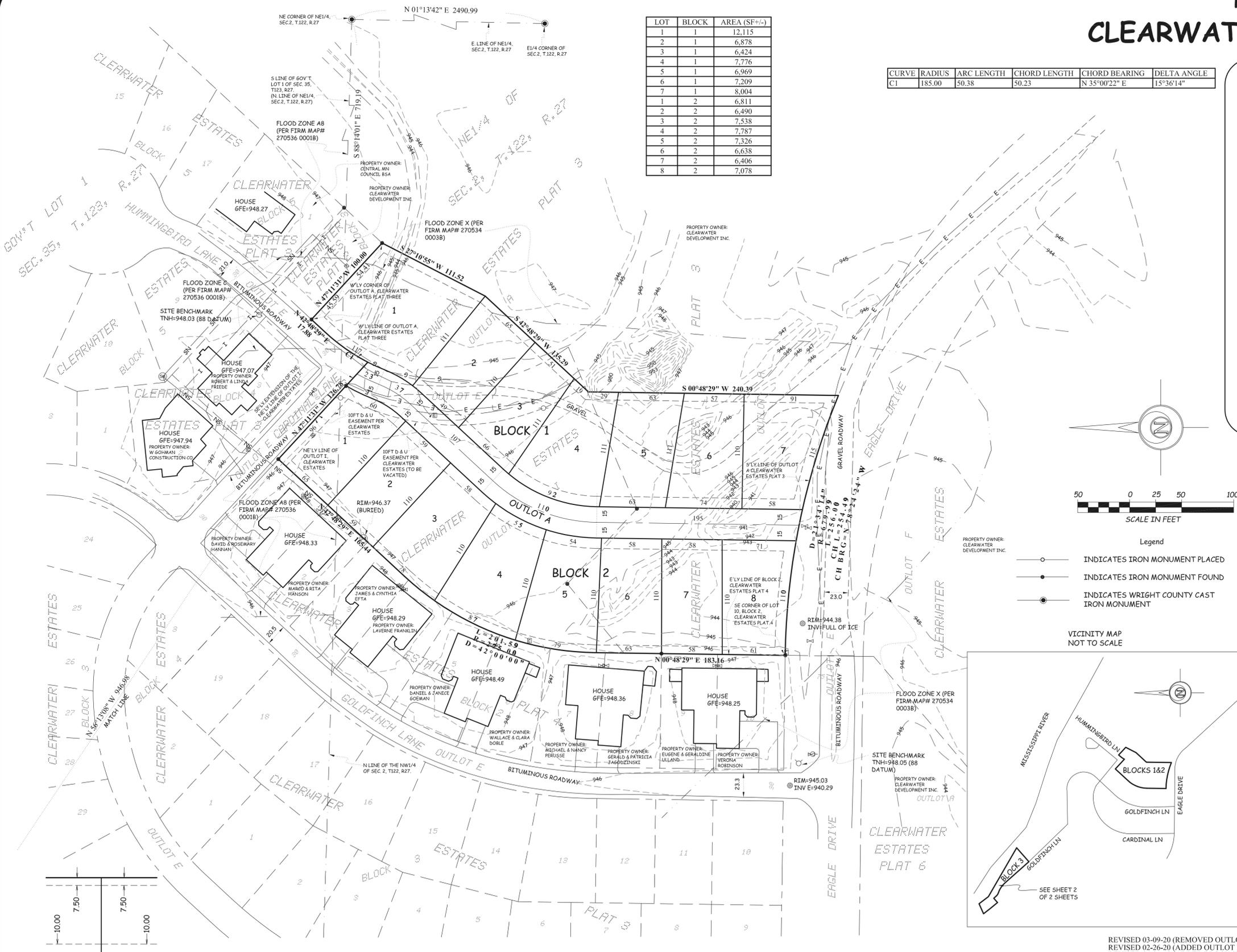
Subject property is zoned Planned Unit Development with a portion of the property being in Wild and Scenic Corridor per city of Clearwater Zoning Map.

-The benchmark for vertical datum used for this survey was MnDot GSD station # 85901 stamped "CASEY RESET 2006 2009" published to have an elevation of 1010.13 on NAVD 88 datum.
-Horizontal Datum: NAD 83 (2011 adjustment) Wright County Coordinate System.

Orientation of the bearings on this plat are based on CLEARWATER ESTATES PLAT FOUR.

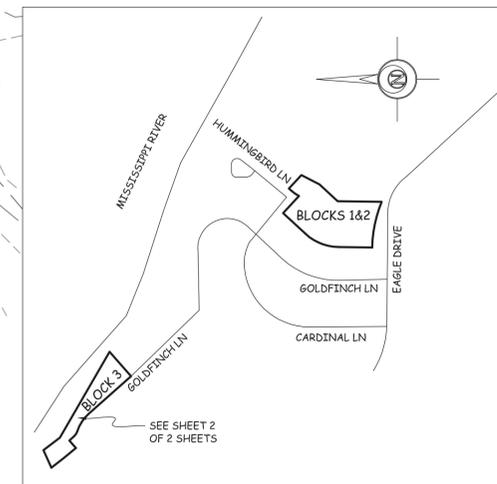
-The utilities shown hereon were located using the Gopher State One-Call system and verified in the field where possible. Private utility locations, such as underground sprinklers, underground service lines, etc may not have been located. O'Malley & Kron cannot guarantee that all utility companies responded or the accuracy or completeness of the locates. Prior to digging, contact Gopher One at 1-800-252-1166 and refer to ticket number 180230650.

NOTE: See approved grading plan for proposed house locations.



- Legend
- INDICATES IRON MONUMENT PLACED
 - INDICATES IRON MONUMENT FOUND
 - ⊙ INDICATES WRIGHT COUNTY CAST IRON MONUMENT

VICINITY MAP NOT TO SCALE



- LEGEND
- ST — INDICATES STORM SEWER LINE
 - SN — INDICATES SANITARY SEWER LINE
 - I — INDICATES UNDERGROUND WATER
 - G — INDICATES UNDERGROUND GAS
 - E — INDICATES UNDERGROUND ELECTRIC
 - T — INDICATES UNDERGROUND TELEPHONE
 - C — INDICATES UNDERGROUND CABLE
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 - ⊙ INDICATES STORM MANHOLE
 - ⊕ INDICATES SANITARY MANHOLE
 - ⊗ INDICATES CATCH BASIN
 - ⊕ INDICATES WATER VALVE
 - ⊙ INDICATES HYDRANT
 - ⊕ INDICATES LIGHT POLE
 - ⊕ INDICATES GAS PEDESTAL
 - ⊕ INDICATES ELECTRIC PEDESTAL
 - ⊕ INDICATES TELEPHONE PEDESTAL
 - ⊕ INDICATES CABLE PEDESTAL
 - ⊕ INDICATES FIBER OPTIC PEDESTAL
 - ⊕ INDICATES SANITARY CLEANOUT

DRAINAGE AND UTILITY EASEMENTS
DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS: BEING 10 FEET IN WIDTH AND ADJOINING STREET LINES, AND BEING 7.5 FEET IN WIDTH ADJOINING REAR LOT LINES AS SHOWN, UNLESS OTHERWISE SHOWN.

NOTE: THIS SURVEY IS INTENDED ONLY FOR THE BENEFIT OF THE PARTY TO WHOM IT WAS PREPARED FOR AND SHOULD NOT BE RELIED UPON BY ANY OTHER PARTY OR FOR ANY OTHER PURPOSE WITHOUT FIRST CONTACTING THE SURVEYOR WHO DEVELOPED AND MADE THIS DRAWING. UNAUTHORIZED REPRODUCTION OF THIS DOCUMENT IS PROHIBITED.

370 CHAPEL HILL RD., SUITE 105
COLD SPRING, MN 56320
PH. 320-685-5905
FAX 320-685-3056

PRELIMINARY PLAT PREPARED BY:
O'MALLEY & KRON
LAND SURVEYORS, INC.

1004 2nd ST. SE
WILLMAR, MN 56201
PH. 320-235-4012
FAX 320-685-3056

REVISED 03-09-20 (REMOVED OUTLOT B)
REVISED 02-26-20 (ADDED OUTLOT B)
REVISED 05-31-18 (ADDED BLOCK 3)

I HEREBY CERTIFY THAT THIS SURVEY, PLAN OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.
Daniel M. Kron
DANIEL M. KRON
MINNESOTA REGISTRATION NO. 42621
DATE: 01-26-18

SHEET 1 OF 2

PRELIMINARY PLAT PREPARED FOR:
CLEARWATER DEVELOPMENT INC.
 JOB NO: 2018-19
 FILE NAME: 2018-19.DWG
 LOCATION: 2-122-27 & 35-123-27

PRELIMINARY PLAT OF: CLEARWATER ESTATES PLAT EIGHT

LEGAL DESCRIPTION

Outlot D, CLEARWATER ESTATES, according to the recorded plats thereof, Wright County, Minnesota.

Total Acreage of Proposed Block 1 on Sheet 2 = 1.53 +/- Acres
Total Acreage of Plat = 4.42 +/- Acres

Owner/Developer of Record:
Clearwater Development Inc.
P.O. Box 370
Clearwater, MN 55320

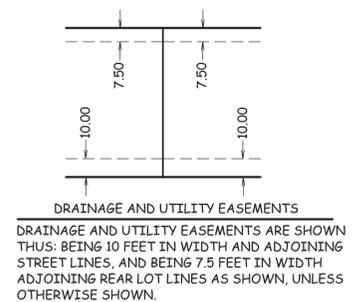
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Subject property is zoned Planned Unit Development and in the Wild and Scenic Corridor per city of Clearwater Zoning Map.

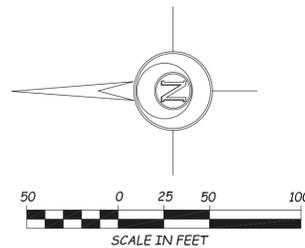
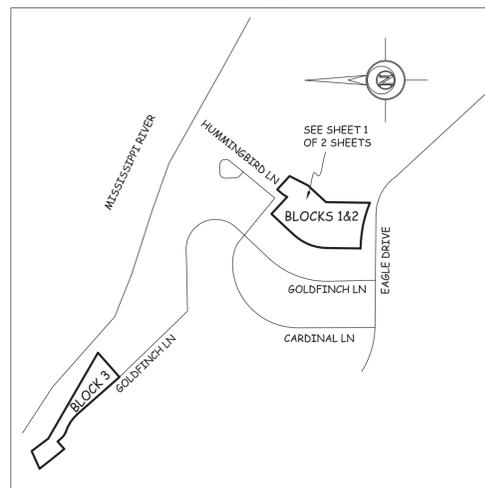
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Orientation of the bearings on this plat are based on CLEARWATER ESTATES PLAT FOUR.

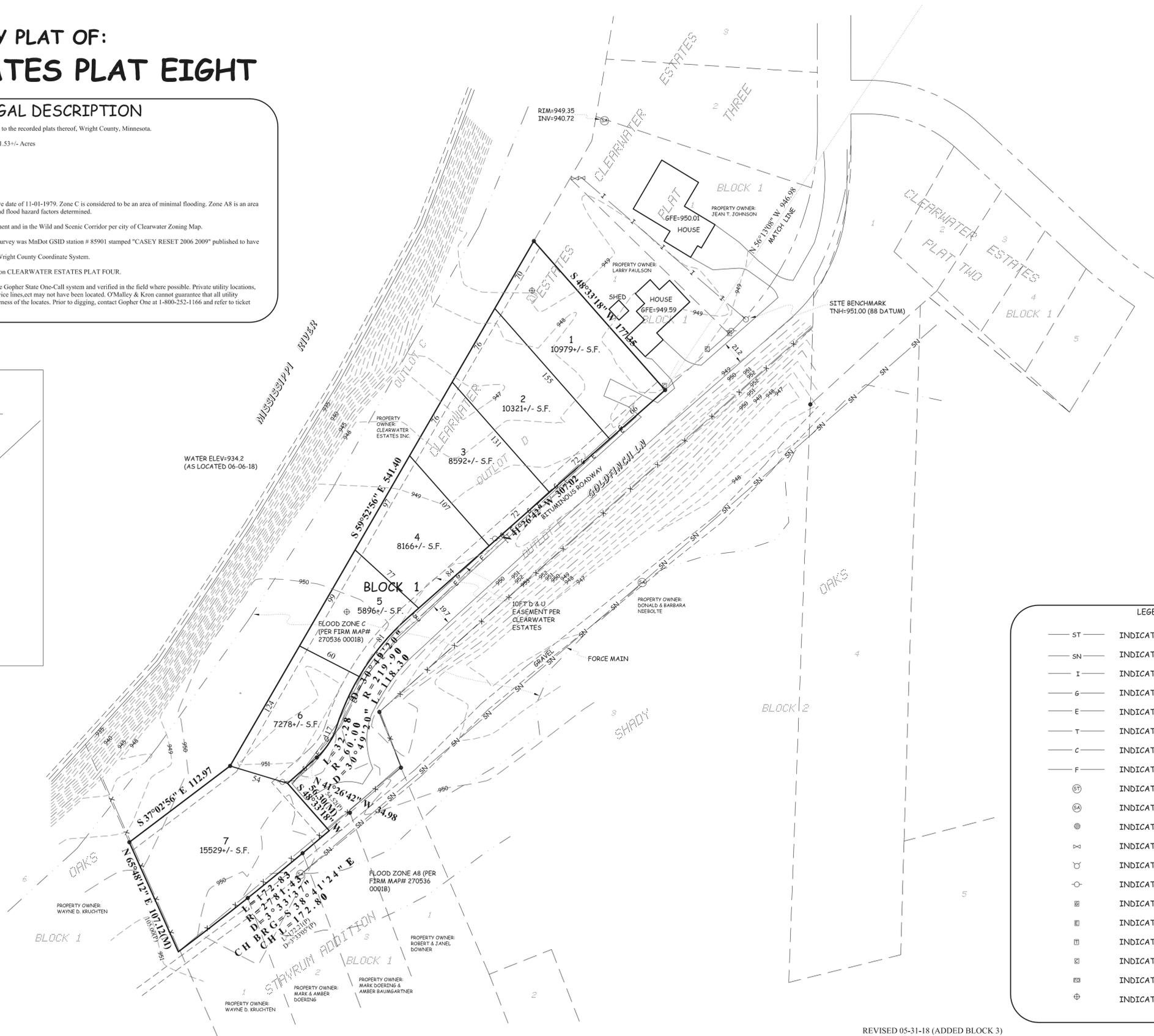
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VICINITY MAP
NOT TO SCALE



- Legend
- INDICATES IRON MONUMENT PLACED
 - INDICATES IRON MONUMENT FOUND
 - ⊙ INDICATES WRIGHT COUNTY CAST IRON MONUMENT



- LEGEND
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 - ⊙ INDICATES SANITARY CLEANOUT

NOTE: THIS SURVEY IS INTENDED ONLY FOR THE BENEFIT OF THE PARTY TO WHOM IT WAS PREPARED FOR AND SHOULD NOT BE RELIED UPON BY ANY OTHER PARTY OR FOR ANY OTHER PURPOSE WITHOUT FIRST CONTACTING THE SURVEYOR WHO DEVELOPED AND MADE THIS DRAWING. UNAUTHORIZED REPRODUCTION OF THIS DOCUMENT IS PROHIBITED.

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COLD SPRING, MN 56320
PH. 320-685-5905
FAX 320-685-3056

PRELIMINARY PLAT PREPARED BY:
O'MALLEY & KRON
LAND SURVEYORS, INC.

1004 2nd ST. SE
WILLMAR, MN 56201
PH. 320-235-4012
FAX 320-685-3056

REVISED 05-31-18 (ADDED BLOCK 3)

I HEREBY CERTIFY THAT THIS SURVEY, PLAN OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.
Daniel M. Kron
DANIEL M. KRON
MINNESOTA REGISTRATION NO. 42621

SHEET 2 OF 2

PRELIMINARY PLAT PREPARED FOR:
CLEARWATER DEVELOPMENT INC.
JOB NO: 2018-19
FILE NAME: 2018-19.DWG
LOCATION: 2-122-27 & 35-123-27

**COMMON INTEREST COMMUNITY NO. 13
PLANNED COMMUNITY
CLEARWATER ESTATES
AMENDMENT TO
DECLARATION AND GENERAL PROTECTIVE COVENANTS
FOR CLEARWATER ESTATES, A COMMON INTEREST COMMUNITY**

Clearwater Estates Inc., a Minnesota nonprofit corporation (the “**Association**”) and **Clearwater Development, Inc.**, a Minnesota corporation (the “**Declarant**”) make this Amendment to Declaration and General Protective Covenants for Clearwater Estates, A Common Interest Community (this “**Amendment**”) effective as of May 22, 2020 (the “**Effective Date**”).

RECITALS

A. Clearwater Development, Inc., a Minnesota corporation (the “**Declarant**”) executed a Declaration and General Protective Covenants for Clearwater Estates, a Common Interest Community dated June 24, 1994, recorded in the Office of County Recorder, Wright County, Minnesota on July 11, 1994 as Document No. 554935, as amended by an Amendment to the Declaration and General Protective Covenants for Clearwater Estates, a Common Interest Community dated October 6, 1994, an Amendment to the Declaration and General Protective Covenants for Clearwater Estates, Common Interest Community No. 13 dated January 9, 1996, recorded in the Office of County Recorder, Wright County, Minnesota on January 31, 1996, as Document No. 587577, an Amendment to the Declarations and Protective Covenants of Clearwater Estates, Inc. CIC #13 dated May 13, 1996, recorded in the Office of County Recorder, Wright County, Minnesota on July 9, 1996, as Document No. 597879, an Amendment to the Declarations and Protective Covenants of Clearwater Estates, Inc., CIC #13 dated June 20, 1997, recorded in the Office of County Recorder, Wright County, Minnesota on June 24, 1997, as Document No. 620866, an Amendment of the Declarations and General Protective Covenants for Clearwater Estates, a Common Interest Community dated February 15, 2000, recorded in the Office of County Recorder, Wright County, Minnesota on May 10, 2000, as Document No. 708609, an Amendment of Declarations and General Protective Covenants for Clearwater Estates, a Common Interest Community dated October 22, 2001, recorded in the Office of County Recorder, Wright County, Minnesota on October 24, 2001, as Document No. 762048; and Seventh Amendment to Declaration and General Protective Covenants for Clearwater Estates, a Common Interest Community dated December 17, 2018, recorded in the Office of the

County Recorder, Wright County, Minnesota, on December 20, 2018, as Document No. A1386801 (collectively, the “**Declaration**”).

B. The Period of Declarant Control has ended and the operation and administration of the Association is governed by the Association’s Board of Directors (the “**Board**”).

C. The Declarant desires to plat a portion of the Additional Property as shown on the plat known as “Clearwater Estates Plat Eight,” a copy of which is attached as **Exhibit A** (the “**Plat**”), develop such property with residential homes and add it to the Declaration.

D. The Declarant desires to acquire, and the Association desires to convey to the Declarant, a portion of Outlot E, Clearwater Estates as shown on the attached **Exhibit A** (the “**Outlot E Parcel**”), which Outlot E Parcel is currently undeveloped land owned by the Association.

E. The Declarant desires to add to the Declaration and convey to the Association Outlot A, Clearwater Estates Plat Eight (“**Outlot A**”) to be part of the Common Elements and used as a private road.

F. The Declarant and Association wish to amend the Declaration to extend the time period during which the Declarant may add Additional Property.

G. The Declaration provides that it may be so amended with the consent of Owners (other than the Declarant) that are collectively allocated at least 67% of the votes in the Association.

H. The Association has obtained the requisite approval of the Owners required for this Amendment as acknowledged in the attached Secretary’s Affidavit.

For good and valuable consideration, the receipt and sufficiency of which is acknowledged, the Association makes this Amendment as follows:

1. **Additional Property.** As of the Effective Date of this Amendment, Section 2.16(a) of the Declaration is amended and replaced in its entirety with the following:

a) The Declarant reserves the right to add additional real estate (the “**Additional Property**”) to the Common Interest Community. The time limit during which the Declarant may add Additional Property shall expire on December 31, 2025. The time limit may be extended by amendment of this Declaration, approved by the Declarant and by the vote or written agreement of the Owners (other than the Declarant) representing at least 67 percent of the votes of the Association.

2. **Plat and Conveyance of Outlot E Parcel.** The Association shall plat Outlot E Parcel as shown on the Plat and shall convey the Outlot E Parcel to the Declarant. Declarant shall pay for all costs to prepare, obtain governmental approvals for and record the Plat.

3. **Conveyance of Outlot A.** Following recording of the Plat, the Declarant shall convey Outlot A to the Association reserving an easement thereupon for ingress and egress on

and over Outlot A for construction purposes and an easement on and under Outlot A for the installation of a road and utilities. Declarant shall be responsible at its cost to extend roads and street lights, and a new postal pedestal if required, to serve any portion of the Additional Property which is added to the Common Interest Community.

4. **Garbage Enclosure Area Lease.** Declarant will lease the Association a designated area of approximately 50' x 15' (the "**Garbage Enclosure Area**") on Declarant's property adjacent to Eagle Drive south of the lots in the Plat for the location of a garbage enclosure. The lease will have a 10-year term and a total rent of \$1. The Association will be solely responsible at its cost to obtain any and all required permits or approvals and for all costs relating to the construction, maintenance, repair and insuring of the garbage enclosure and related improvements, all of which will meet all city and other legal requirements. The lease will terminate if the Association acquires a more suitable area for garbage in the future. The Declarant and Association will enter into a separate mutually acceptable lease consistent with this Section's terms regarding the Garbage Enclosure Area.

5. **Association's Attorneys' Fees.** Declarant will reimburse the Association for its reasonable legal fees incurred in reviewing and approving this Amendment in an amount of up to \$5,000 following presentation of applicable invoices and supporting documentation.

6. **Remaining Terms.** Except as expressly modified in this Amendment, all other terms and provisions of the Declaration shall remain in full force and effect and shall apply to the Units and all of the Committed Property.

7. **Capitalized Terms.** Except as otherwise specifically provided in this Amendment, all capitalized terms shall have the meanings provided to them in the Declaration.

8. **Counterparts.** This Amendment may be signed in any number of counterparts, all of which taken together shall constitute one and the same instrument.

[Remainder of page intentionally left blank. Signature page follows.]

**EXHIBIT A
PLAT**

(See attached)

SECRETARY'S AFFIDAVIT

STATE OF MINNESOTA)
) SS
COUNTY OF Wright)

The undersigned Secretary of Clearwater Estates Inc., a Minnesota nonprofit corporation (the "Association"), being first duly sworn on oath, states and alleges that the attached Amendment to Declaration and General Protective Covenants for Clearwater Estates, A Common Interest Community (the "Amendment") was approved by the vote or written agreement of the Owners (other than the Declarant) representing at least 67% of the votes of the Association.

Dated Effective: May 20th, 2020

Clearwater Estates Inc.

By Geraldine Fierick
Its Secretary

STATE OF MINNESOTA)
) SS
COUNTY OF Wright)

On this 20th day of May, 2020, before me, a Notary Public for this County, personally appeared Geraldine Fierick, who, being by me duly sworn, did say that he/she is the Secretary of Clearwater Estates Inc., and that this instrument was signed on behalf of said corporation by authority of its Board of Directors and acknowledged said instrument to be the free act and deed of said corporation.

Jenny S. Massmann
Notary Public

